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An Archaeological, Architectural and Cultural Heritage Impact Assessment of a Proposed Development at Richmond Road, Dublin 3.

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EXECUTIVE SUMMARY

The purpose of this report is to assess the importance and sensitivity of the known, as well as the potential, archaeological, architectural and cultural heritage environment of the proposed development site at Richmond Road, Dublin 3, to identify the impact of the proposed development on this environment and to propose mitigation measures to reduce any impacts on said environment.

These works were undertaken for Thornton O'Connor Town Planning on behalf of Birkey Ltd. The proposed development consists of the demolition of all existing structures on the subject site (2,346 sq. m) and the construction of a part 6 No. to part 10 No. storey over basement mixed-use development. The development also includes the construction of a new c. 126 No. metre long section of flood wall to the River Tolka along the site's southern boundary.

The archaeological assessment of the proposed development site at Richmond Road has identified 28 sites of archaeological, and/or cultural heritage significance within the study area. These comprise three RMPs (one of which is also a designated NIAH site), seven Protected Structures (PS) (five of which are also listed on the NIAH), nine NIAH sites (including one RMP and five Protected Structures), one Conservation Area (CA), two townland boundaries (TB), eleven unregistered cultural heritage sites (UCH) and one area of archaeological potential (AAP).

The results of this impact assessment indicate that the development site as a whole is an area of archaeological potential. It is expected that any impacts to archaeology would occur as a result of construction groundworks.

In keeping with DCCs Archaeology Section Report recommendations (Ref: Addendum B; ABP 310653 21) the following mitigation measures are proposed:

1. The site shall be subject to a programme of pre-construction archaeological test trenching, under licence, by a suitably qualified archaeologist in order to identify the nature, extent and location of any sub-surface archaeological material. Note: where possible enabling or other groundworks works should be deferred until after the archaeological test trenching programme has been completed. Any enabling or demolition works that must be carried out prior to completion of the testing programme shall be the subject of a programme of licensed archaeological monitoring by a suitably qualified archaeologist.
2. A report on the results of the test trenching programme shall be submitted to Dublin City Council, the Heritage and Planning Division, Department of Housing, Local Government and Heritage (DHLGH) and the National Museum of Ireland prior to the commencement of the main construction programme. This report will include:
 - a. the archaeological and historical background of the site to include industrial heritage.
 - b. an appropriate paper record of any historic buildings and boundary treatments.
 - c. an updated impact statement of the proposed development on any surviving archaeological material and describe any appropriate further mitigation measures required in the event that the trenching programme confirms the presence of archaeological features or deposits.
3. Any such further mitigation measures required must be agreed in advance with the City Archaeologist (Dublin City Council) and the National Monuments Service (DHLGH).

Note: Where preservation in situ of any identified archaeological remains cannot be achieved, either in whole or in part, then a programme of full archaeological excavation will be required, to ensure the preservation by record of any archaeological features that will be directly impacted upon.

Please note all recommendations are subject to the approval of the Dublin City Archaeologist and the National Monuments Service, Department of Housing, Local Government and Heritage.

1 INTRODUCTION

This report details the archaeological, architectural and cultural heritage issues that need to be addressed in respect of a proposed development at Richmond Road, Dublin (Figure 1). These works were undertaken for Thornton O'Connor Town Planning on behalf of Birkey Ltd.

This assessment has been undertaken in accordance with the provisions of the following legislative procedures which are further detailed in Appendix 3:

- National Monuments Acts 1930-2004
- Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act, 1999
- Local Government (Planning and Development) Acts 2000-2015

It has also been undertaken in accordance with the policies set out in Chapter 11 of the Dublin City Development Plan 2016-2022.

1.1 *Site location*

The proposed development site is located off Richmond Road, Dublin 3. The site is bound to the north-east by Richmond Road and the Leyden's Wholesalers & Distributor Site, to the north-west by an apartment development (Deakin Court), to the south-west by the Tolka River and to the south-east by a residential and commercial development (Distillery Lofts). Improvement works to Richmond Road are also proposed including carriageway widening and a new signal controlled pedestrian crossing facility on an area of c. 0.08 hectares (c. 762 sq m). The development site area and road works area will provide a total application site area of c. 0.69 hectares (c. 6,829 sq m).

1.2 *Proposed development*

The proposed development will principally consist of the demolition of all existing structures on site (c. 2,346 sq m) including warehouses and 2 No. dwellings; and the construction of a part 6 No. to part 10 No. storey over basement development (with roof level telecommunications infrastructure over), comprising 1 No. café/retail unit (157 sq m) at ground floor level and 183 No. Build-to-Rent apartments (104 No. one bedroom units and 79 No. two bedroom units). The proposed development has a gross floor area of c. 16,366 sq m over a basement of c. 2,729 sq m. The proposed development has a gross floor space of c. 15,689 sq m (Figures 3 and 4).

The development also includes the construction of a new c. 126 No. metre long section of flood wall to the River Tolka along the site's southern boundary. The new flood wall is positioned at the top of the existing riverbank and will connect to existing constructed sections of flood wall upstream and downstream of the site. The top of the wall will be set at the required flood defence level resulting in typical wall heights of c. 1.2 to 2 metres above existing ground levels. The development will also include the repair and maintenance of the existing river wall on site adjacent to the River Tolka (Figure 5).

The development also provides ancillary residential amenities and facilities; 71 No. car parking spaces including 8 No. electric vehicle spaces, 4 No. mobility impaired spaces and 1 No. car share space; 5 No. motorcycle parking spaces; bicycle parking; electric scooter storage; a drop off space; the decommissioning of the existing telecommunications mast at ground level and provision of new telecommunications infrastructure at roof level including shrouds, antennas and microwave link dishes; balconies facing all directions; public and communal open space; a pedestrian/bicycle

connection along the north-western boundary of the site from Richmond Road to the proposed pedestrian/bicycle route to the south-west of the site adjoining the River Tolka; roof gardens; hard and soft landscaping; boundary treatments; green roofs; ESB Substation; switchroom; comms rooms; generator; lift overruns; stores; plant; and all associated works above and below ground.

1.3 Study area

The study area for this assessment has been defined in respect of two factors: 1.) the ability of sites/information sources to provide information pertaining to the archaeological potential of the proposed development site, and 2.) the potential physical impact, as well as impact on setting, that the proposed scheme may have on sites of cultural heritage significance.

Taking these factors into account the study area has been defined as follows:

Subject	Study area
National Monuments and Recorded archaeological monuments (RMPs)	Within 200 m of proposed development site
Protected Structures and/or their curtilage	Within approx. 200 m proposed development site
Architectural Conservation Areas (ACAS)	Within approx. 200 m proposed development site
Structures recorded in the NIAH	Within approx. 200 m of proposed development site
Unregistered features of cultural heritage	Within proposed development site
Townland boundaries	Within approx. 200 m proposed development site
Areas of archaeological potential	Within proposed development site
Previous Excavations	Within townlands or streets encompassed by and adjacent to the proposed development site
Topographical files	Within the area incorporated by the proposed development

Table 1 – Dimensions of the study area

2 OBJECTIVES AND METHODOLOGY

2.1 Objectives

This study aims to assess the baseline archaeological, architectural and cultural heritage environment, evaluate the likely significant impacts that the proposed development will have on this environment and provide mitigation measures, in accordance with the policies of the National Monuments Service, Department of Housing, Local Government and Heritage and Dublin City Council, the National Monuments Acts 1930-2004 and best practise guidelines, to ameliorate these impacts.

In order to provide a comprehensive assessment, an extensive desktop study in addition to a field inspection of the proposed development area was undertaken.

The scope and methodology for the baseline assessment has been devised with reference to the following guidelines:

- EirGrid (2015) 'Cultural Heritage Guidelines for Electricity Transmission Projects. A stand approach to archaeological, architectural and cultural heritage impact assessment of high voltage transmission projects.'
- Environmental Protection Agency (2002) 'Guidelines on the information to be contained in Environmental Impact Statements'
- Environmental Protection Agency (2003) 'Advice notes on current practice (in the preparation of Environmental Impact Statements)'
- Environmental Protection Agency (2017) 'Draft Guidelines on the information to be contained in Environmental Impact Assessment Reports (EIAR)'
- Department of Arts, Heritage, Gaeltacht and the Islands (DAHGI) (1999) 'Frameworks and Principles for the Protection of the Archaeological Heritage'
- Department of the Environment, Heritage and Local Government (2004) 'Architectural Heritage Guidelines'
- National Roads Authority (2005) 'Guidelines for the Assessment of Architectural Heritage Impacts of National Road Schemes'
- National Roads Authority (2005) 'Guidelines for the Assessment of Archaeological Heritage Impacts of National Road Schemes'

2.2 Desktop Study Methodology

The present assessment of the archaeological, architectural and cultural heritage of the proposed development area is based on a desktop study of a number of documentary and cartographic sources. The desktop study was further augmented by an examination of aerial photography as well as a field survey. The main sources consulted in completing the desktop study are listed here.

- Sites and Monuments Record (SMR) and Record of Monuments and Places (RMP)
- National Inventory of Architectural Heritage
- Dublin City Development Plan 2016–2022
- National Museum of Ireland (NMI) Topographical Files (online via heritagemaps.ie)
- Excavations Bulletin
- Aerial Photographs
- Cartographic Sources

2.3 *Field Inspection Methodology*

A field inspection of the proposed development site was undertaken by Rubicon Heritage Services Ltd on 23 April 2021 (Plates 1–8).

The primary purpose of a field inspection is to assess local topography in order to identify any potential low-visibility archaeological and/or historical sites, buildings or boundaries that are not currently recorded and which may be impacted upon negatively by the proposed development. It is also the purpose of the field inspection to survey any known monuments or sites and to consider the relationship between them and the surrounding landscape, all of which need to be considered during the assessment process.

The methodology used during the field inspection involved recording the present land use as well as the existing topography for the entire area comprising the proposed development site. A photographic record and written description were compiled for any known and/or potential sites of archaeological, architectural and/or cultural significance.

2.4 *Methodology used for assessing baseline value of sites*

In order to categorise the baseline environment in a systemised manner, ‘baseline values’ have been assigned to each identified site of cultural heritage significance and/or potential within the study area. The baseline value of a site is determined with reference to the ‘importance’ and ‘sensitivity’ of the site.

In accordance with NRA Guidelines, the importance of a site is determined based on the following criteria: legal status, condition, historical associations, amenity value, ritual value, specimen value, group value and rarity.

The sensitivity of a site is determined based on the presence of extant remains and/or the potential for associated sub-surface remains of the feature to be present *in situ*.

It should be noted that the National Monuments Act 1930-2004 does not differentiate between recorded archaeological sites on the basis of relative importance or sensitivity. In addition, the Local Government (Planning and Development) Act, 2000 does not differentiate between Protected Structures or Areas of Architectural Conservation on the basis of relative importance or sensitivity either. Consequently, professional judgement has been exercised to rate these features based on their perceived importance and sensitivity in relation to physical impacts and impacts on setting.

Taking the above factors into consideration, the criteria that have been defined are provided in Table 2 below.

Subject	Baseline Value
<ul style="list-style-type: none">- Recorded Archaeological Monuments- Protected Structures- Architectural Conservation Areas (ACAs)	Very High
<ul style="list-style-type: none">- Sites listed in the NIAH that are not Protected Structures- Unregistered built heritage sites that comprise extant remains which are in good condition and/or which are regarded as constituting significant cultural heritage features- Unrecorded features of archaeological potential	High

Subject	Baseline Value
<ul style="list-style-type: none"> - Unregistered built heritage sites that comprise extant remains which are in poor condition - Unregistered cultural heritage sites (not including built heritage sites) that comprise extant remains - Townland boundaries that comprise extant remains - Marshy/wetland areas 	Medium/High
<ul style="list-style-type: none"> - Unregistered cultural heritage sites for which there are no extant remains but where there is potential for associated subsurface evidence - Townland boundaries for which there are no extant remains 	Medium/Low
<ul style="list-style-type: none"> - Unregistered cultural heritage sites for which there are no extant remains and where there is little or no potential for associated subsurface evidence 	Low

Table 2 – Baseline values of sites

Caution should be exercised when assessing the perceived significance of an archaeological, architectural or cultural heritage site as such categorisation is open to subjectivity. In addition, the perceived levels of importance as identified in this report are liable to future revision in the instance where new information, through the undertaking of further archaeological investigations, is provided.

2.5 *Type of impacts*

The following table lists the type of impacts that a proposed development may have on the cultural heritage resource:

Type of Impacts	Definition
Direct	Direct impacts arise where an archaeological, architectural and/or cultural heritage feature or site is physically located within the footprint of the proposed development, or its associated physical impact zone, whereby the removal of part, or all of the feature or site is thus required.
Indirect	Indirect impacts arise when an archaeological, architectural or cultural heritage feature is not located within the footprint of the proposed development, or its associated physical impact zone, and thus is not impacted directly. Such an impact could include impact on setting or impact on the zone of archaeological potential of site whereby the actual site itself is not physically affected.
Cumulative	The addition of many impacts to create a large, significant impact.
Undeterminable	Whereby the full consequence that the proposed development may have on the cultural heritage resource is not known.
Residual	The degree of environmental change that will occur after the proposed mitigation measures have taken effect.

Table 3 – Type of impacts

2.6 Methodology used for assessing magnitude of impacts

The methodology used to assess the magnitude of potential pre-mitigation impacts, as well as residual impacts, of the proposed development on the baseline environment is presented in Table 4 below.

Impact magnitude	Criteria
Severe	<ul style="list-style-type: none"> - Applies where mitigation would be unlikely to remove adverse effects. Reserved for adverse, negative effects only. These effects arise where an archaeology site is completely and irreversibly destroyed. - An impact that obliterates the architectural heritage of a structure or feature of national or international importance. These effects arise where an architectural structure or feature is completely and irreversibly destroyed by the proposed development. Mitigation is unlikely to remove adverse effects.
Major	<ul style="list-style-type: none"> - An impact which, by its magnitude, duration or intensity, alters an important aspect of the environment. An impact like this would be where part of a site would be permanently impacted upon, leading to a loss of character, integrity and data about an archaeological feature/site. - An impact that by its magnitude, duration or intensity alters the character and/or the setting of the architectural heritage. These effects arise where an aspect or aspects of the architectural heritage is/are permanently impacted upon leading to a loss of character and integrity in the architectural structure or feature. Appropriate mitigation is likely to reduce the impact. - A beneficial or positive effect that permanently enhances or restores the character and/or setting of a feature of archaeological or cultural heritage significance in a clearly noticeable manner.

Impact magnitude	Criteria
Moderate	<ul style="list-style-type: none"> - A medium impact arises where a change to a site/monument is proposed which though noticeable, is not such that the archaeological integrity of the site is compromised, and which is reversible. This arises where an archaeological feature can be incorporated into a modern-day development without damage and that all procedures used to facilitate this are reversible. - A medium impact to a site/monument may also arise when a site is fully or partly excavated under license and all recovered data is preserved by record. - An impact that results in a change to the architectural heritage which, although noticeable is not such that alters the integrity of the heritage. The change is likely to be consistent with existing and emerging trends. Impacts are probably reversible and may be of relatively short duration. Appropriate mitigation is very likely to reduce the impact. - A beneficial or positive effect that results in partial or temporary enhancement of the character and/or setting of a feature of archaeological or cultural heritage significance in a clearly noticeable manner.
Minor	<ul style="list-style-type: none"> - An impact which causes changes in the character of the environment, such as visual impact, which are not high or very high and do not directly impact or affect an archaeological feature or monument. - An impact that causes some minor change in the character of architectural heritage of local or regional importance without affecting its integrity or sensitivities. Although noticeable, the effects do not directly impact on the architectural structure or feature. Impacts are reversible and of relatively short duration. Appropriate mitigation will reduce the impact. - A beneficial or positive effect that causes some minor or temporary enhancement of the character of an architectural heritage significance which, although positive, is unlikely to be readily noticeable.
Negligible	<ul style="list-style-type: none"> - An impact on archaeological features or monument capable of measurement but without noticeable consequences. - An impact on architectural heritage of local importance that is capable of measure merit but without noticeable consequences. - A beneficial or positive effect on architectural heritage of local importance that is capable of measurement but without noticeable consequences.

Table 4 – Criteria used for rating magnitude of impacts

2.7 Methodology used for assessing significance level of impacts

The significance level of a construction or operation impact on a feature is assessed by combining the magnitude of the impact and baseline value of the feature. The matrix in Table 5 provides a guide to decision-making but is not a substitute for professional judgement and interpretation, particularly where the baseline value or impact magnitude levels are not clear or are borderline between categories. The permanence of the effects are also taken into account, with irreversible effects being more significant while temporary or reversible changes are likely to be less significant.

Magnitude of Impact	Baseline Value				
	Very High	High	Medium/High	Medium/Low	Low
Severe	Very significant	Significant	Significant	Moderate	Slight
Major	Significant	Significant	Moderate	Slight	Slight
Moderate	Moderate	Moderate	Slight	Slight	Negligible
Minor	Slight	Slight	Slight	Negligible	Negligible
Negligible	Slight	Negligible	Negligible	Negligible	Negligible

Table 5 – Criteria for assessing significance level of impacts

2.8 Difficulties experienced during compilation of assessment

No significant difficulties were encountered during the preparation of this impact assessment.

Note: The topographical files at the NMI were not accessible due to COVID 19 restrictions. A search of the online catalogue available through www.heritagemaps.ie did not identify any recovered artefacts within in the study area.

3 BASELINE/RECEIVING ENVIRONMENT

3.1 *Designated archaeological sites*

3.1.1 Record of Monuments and Places (RMPs)

Section 12 (1) of the National Monuments Act 1994 made provision for the establishment and maintenance of a Record of Monuments & Places (RMP). Under this Act, each site recorded in the Record of Monuments and Places is granted statutory protection. When the owner or occupier of a property, or any other person proposes to carry out, or to cause, or to permit the carrying out of any work at or in relation to a recorded archaeological monument they are required to give notice in writing to the Minister for Housing, Local Government and Heritage two months before commencing that work.

There are 3 recorded archaeological monuments incorporated by the study area (please refer to Section 1.3: Study Area). These include the site of a castle (CH001), a watermill associated with a printing works (CH002) and 17th/ 18th century house (Clonliffe House: CH003) (Figures 1 and 2).

3.1.2 National Monuments

National monuments are broken into two categories: National Monuments in the ownership or guardianship of the state and National Monuments in the ownership or guardianship of a local authority. Section 8 of the National Monuments (Amendment) Act 1954 provides for the publication of a list of monuments, the preservation, of which, are considered to be of national importance. Two months' notice must be given to the Minister for Housing, Local Government and Heritage where work is proposed to be carried out at or in relation to any National Monument.

There are no National Monuments incorporated by the study area (please refer to Section 1.3: Study Area).

3.1.3 Sites with Preservation Orders

The National Monuments Act 1930-2004 provide for the making of Preservation Orders and Temporary Preservation Orders in respect of National Monuments. Under Section 8 of the National Monument Act 1930 (as amended) the Minister for Housing, Local Government and Heritage, can place a Preservation Order on a monument if, in the Ministers' opinion, it is a National Monument in danger of being or is actually being destroyed, injured or removed or is falling into decay through neglect. The Preservation Order ensures that the monument shall be safeguarded from destruction, alteration, injury, or removal, by any person or persons without the written consent of the Minister.

There are no sites with preservation orders incorporated by the study area (please refer to Section 1.3: Study Area).

3.2 *Designated architectural heritage sites*

In 1997 Ireland ratified the Granada Convention on architectural heritage. This provided the basis for a national commitment to the protection of the architectural heritage throughout the country. The Local Government (Planning and Development) Act 2000, and the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999, made the legislative changes necessary to provide for a strengthening of the protection of architectural heritage.

3.2.1 *Record of Protected Structures*

The Dublin City Development Plan 2016-2022 was consulted for schedules of Protected Structures. These are buildings that a planning authority considers to be of special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social, and/or technical point of view. Protected Structures receive statutory protection from injury or demolition under Section 57 (1) of the Local Government (Planning and Development) Act 2000. Protected structure status does not exclude development or alteration but requires the developer to consult with the relevant planning authority to ensure that elements which make the structure significant are not lost during development.

There are seven Protected Structures (CH004- St Vincent's Hospital, CH006- 19th C. Warehouse 156-163 Richmond Road, CH007- Former Whiskey Distillery, CH009- 19th C. Dwelling, CH011- 163 Richmond Road, CH012- 165 Richmond Road, CH015- Bonded Storehouse) in the study area (Figures 1 and 2) (please refer to Section 1.3: Study Area).

Note: On map E of the Dublin City Development Plan 2016-2022 a red asterisk, denoting a protected structure, has been added (in error) to one of the buildings associated with Leyden's Cash and Cary to the east of the proposed development site. This building is a steel shed and is of no archaeological, architectural or cultural heritage merit. It should also be noted that there is no corresponding entry for this building in the record of protected structures that forms part of the written statement (Goodbody 2021).

3.2.2 *Architectural Conservation Areas and Conservation Areas*

The Dublin City Development Plan 2016-2022 was consulted for records relating to Architectural Conservation Areas and Conservations Areas (hereinafter 'ACAs' and 'CAs' respectively). It is a policy of Dublin City Council to protect the special interest and character of all Dublin's Conservation Areas. Development within or affecting a conservation area must contribute positively to its character and distinctiveness and take opportunities to protect and enhance the character and appearance of the area and its setting, wherever possible.

There is one CA within the study area (CH027- The River Tolka; Figure 2) (please refer to Section 1.3: Study Area).

Note: Goodbody's report (2021, 16) notes that when the red hatching denoting the Conservation Area (where it encroaches into the application site) was added to the development plan maps (in the 1980s), these maps still showed the bend in the river and as such the hatching was applied to all sections of the river as depicted at this time. However, the back-filling of the bend in the river and the construction of the extant commercial facility has rendered the red hatching obsolete where it encroaches into the application site (Goodbody 2021).

3.2.3 *National Inventory of Architectural Heritage (NIAH)*

The National Inventory of Architectural Heritage (hereinafter the 'NIAH') is a state initiative under the administration of the Department of Arts, Heritage and the Gaeltacht and was established on a statutory basis under the provisions of the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999. Its purpose is to identify, record and evaluate the post-1700 architectural heritage of Ireland, uniformly and consistently, as an aid in the protection and conservation of the built heritage. NIAH surveys provide the basis for the recommendations of the Minister for Arts, Heritage and the Gaeltacht to the planning authorities for the inclusion of particular structures in their Record of Protected Structures (RPS).

There are nine structures listed in the NIAH within the study area (one is an RMP, Clonliffe House: CH003) with five other buildings listed as protected structures (CH004, CH006, CH007, CH009 and

CH015). The remaining NIAH structures are (CH008- 20th c. Post Box), (CH009- 19th c. Dwelling Woodbine Lodge) and (CH010- 19th c. Dwelling) (Figure 2; please refer to Section 1.3: Study Area).

3.2.4 Undesignated Cultural Heritage Sites that Comprise Extant Remains

Undesignated cultural heritage sites which comprise extant remains are typically, though not always, post-1700 in date. The majority of these sites are represented on the 6" and/or 25" Ordnance Survey maps. Many constitute country houses and associated lodges, while others may be bridges or industrial features, hollow-ways, mass rocks etc.

There are no undesignated cultural heritage sites that comprise extant remains present within the study area.

3.2.5 Undesignated Cultural Heritage Sites that do not Comprise Extant Remains

Undesignated cultural heritage features which do comprise extant remains typically include features such as lime kilns, dwellings, outhouses, trackways etc which are identifiable on maps such as the 6" and/or 25" Ordnance Surveys but which no longer have an above-ground presence.

Analysis of the First Edition 6" and 25" Ordnance Survey mapping identified eleven undesignated cultural heritage feature which do not comprise extant remains within the study area, eight of which are located within the proposed development area (Figure 2). These sites relate to 19th century industrial heritage structures, (including a bridge), and features associated with milling activity along this section of the Tolka (CH016- Bridge [Original replaced c. 2006]), (CH017- Millrace), (CH018- Sluice gate), (CH019- 19th c. Dwelling 'Optic Lodge'), (CH021- Weir), (CH022- Sluice gate), (CH023- Tailrace), (CH024- Footbridge), (CH025- Sluice gate) and (CH026- Bend in the River Tolka).

3.2.6 Townland Boundaries

A townland is the smallest official land unit in the country. Ireland is made up of approximately 60,000 townlands. Research into the name of these land units frequently provides information relating to its archaeology, history, folklore, ownership, topography or land use. Most place names were anglicised by the time the Ordnance Survey began in the 1830s. Despite some inaccuracies in translation, the Gaelic, Viking, Anglo-Norman and English origins of place names are generally recognisable.

Examination of the First Edition 6" Ordnance Survey map demonstrates that two townland boundaries (CH013)—between Richmond & Clonliffe East and (CH0014)—between Clonliffe East & Drumcondra—are incorporated by the study area. A portion of townland boundary CH013 is located within the proposed development site (Figure 2).

3.3 Areas of archaeological potential

Analysis of historic mapping (see Section 3.5 below) indicates that a series of 19th century structures (CH019–CH025) associated with industrial activity could be present on the proposed development site (Figure 2). The vast majority of these features (a dwelling, an outhouse, a weir, a tailrace, a footbridge and sluice gates) are located on or adjacent to the original course of the River Tolka (CH026) and have an association with the corn mill/ paper mill and the Dublin Whiskey Distillery situated to the south and east of the proposed development respectively. As such the site as a whole can be regarded as an area of archaeological potential (CH028). No additional indication for other archaeological or historical remains is evident from historic maps within the study area. A portion of the townland boundary between Clonliffe and Richmond is also present (CH013) within the proposed development site (please refer to Section 1.3: Study Area).

Goodbody notes (2021, 6) that the bend in the river remained in place until the 1960s or 1970s, after which it was infilled with the river flowing down the straighter channel. Furthermore, he notes that the weir in the straight channel remained in place until c. 2004, when a flood relief scheme was implemented as a result of flooding episodes along the Tolka in Drumcondra and Fairview (ibid). It is likely that the construction of the flood barrier wall along the north-western bank of the river as part of that scheme removed or partially removed the remains of the northernmost weir.

3.4 Archaeological and historical context (after Phelan 2003)

The site is located in the townland of Richmond, parish of Clonturk, in the barony of Coolock.

3.4.1 General History

The site is adjacent to the River Tolka, in Irish 'An Tolac', meaning a flood. This body of water has played an important role in Dublin's history forming the city boundaries and being the reputed backdrop to the battle of Clontarf in 1014. The river is tidal in normal conditions up to the Luke Kelly Bridge (DU018:00201 and 02), a bridge and fish weir site, which lies 500 m to the southwest of the proposed development area. The bridge is believed to have been the site of the Battle of Clontarf and the place where Brian Boru leader of the Irish met his death in the battle and ultimately saw the Irish defeat the Hiberno-Norse. Some historians are sceptical about the notion that the location of Luke Kelly Bridge was the site of the battle but according to Dillon Cosgrave, in reference to the Battle of Clontarf, "it is said that there were many killed at the Danish 'fishing weir' of Clontarf where Ballybough Bridge is now (1909, 117). T. O'Gorman also records that the Battle of the fishing weir of Clontarf is believed to be situated on the River Tolka, close to the sea, where Ballybough Bridge now stands. He states that that it is quite possible that it is from this site that the battle first got its name, afterwards being shortened to its present form by dropping the words 'fishing weir' (1879, 169-82). The bridge is estimated to have been constructed sometime in the 14th century. It was also the location of an engagement between insurgents and Crown forces during the rebellion of Silken Thomas in 1544 'resulting in a great slaughter of Englishmen' (Ball 1920, 157).

The Norse occupation of Dublin from the 9th to 11th centuries was confined to the south bank of the River Liffey. Towards the end of the 11th century an expansion of the Hiberno-Norse population on the north bank of the river resulted in the development of Oxmantown (the town of the east men). St Michan's Church on Church Street was constructed in 1095. St Mary's Abbey was founded on Mary's Lane in 1139. The area to the west of the present line of O'Connell Street (effectively up to the edge of the high tide) was part of the Cistercian Abbey of St Mary's. In the mid-12th century, it was made subject to two English Abbeys, indicating the level of Anglo-Norman influence in Dublin even before the Anglo-Norman Invasion. By the 13th century, the Abbey had its own quay and harbour on the north bank and traded directly with England and France (Kilfeather 2000).

Under Anglo-Norman occupation, Clonliffe was confirmed to the Abbey of St, Mary's. As its borders were on the edge of the city its extent became a question of importance and gave rise to litigation on more than one occasion (Ball, 1920, 154). In the ecclesiastical taxation of 1304, the grange of Clonliffe appears. The grange of Clonliffe was the birthplace of an abbot of St. Mary's Abbey, Stephen Lawless, who ruled the abbey from 1429 to 1437. After the dissolution of the religious houses in 1537 by King Henry VIII, the Grange of Clonliffe was then granted in common with the other possessions of the Abbey to Walter Peppard (Ball 1920). At that time the property was estimated to contain 150 acres with a messuage (i.e. a dwelling with an outhouse and land assigned to it; these buildings could probably equate to the Clonliffe House (CH003), and possibly watermill (CH002) immediately to the south of the proposed development.

With regards to the industrial heritage of this area, the civil survey of 1654 mentions a watermill at St Mary Abbey Lands at the Grange of Clonliffe. It is marked on the Down survey maps as 'Grange Mill', 'Corn Mill' on the 1st edition O.S. maps, and 'Printing Works' on the 2nd edition maps. In 1611 when the Grange of Clonliffe was granted to the crown, it was estimated to contain over 200 acres, as well as the messuage, 3 cottages and the mill (Ball 1920). The commonwealth Civil Survey conducted in 1654–1656 (Simmington 1945) mentions lands at the Grange of Clonliffe, which included 250 acres in the possession of Viscount Moore.

In the first half of the 18th century the Grange as it became known, was the home of Tristram Fortick (Joyce 1995). After his death in 1755 the Grange was called Fortick's Grove and was occupied by successively by Samuel Taylor, Henry Irwin, and a famous theatrical actor, Fredrick Jones, who was known to his contemporaries as Buck Jones. Jones was one of the most noted men of his time who lived in Clonliffe House (CH003), as it became known from at least 1816 onwards (as depicted on Taylor's map of Dublin for that year. In Jones' time the demesne of Clonliffe House extended as far back as the Tolka and included what was known as Donnelly's Orchard. This orchard may be the feature highlighted on the 1837 and 1912 Ordnance Survey maps. As the only means of access to Clonliffe House was from Drumcondra Road at one end at Ballybough at the other, Jones had a new road constructed – a continuation of Russell Street. It has a temporary bridge across the Royal Canal and lay directly at right angles to Clonliffe Road. For long afterwards this road was universally known as 'Buck Jones' road', but in recent years the name has been simplified into its' present form of Jones' Road (Joyce 1995).

Joyce, writing in 1912 states that the then straight Clonliffe road was little over 100 years old, and was preceded by a narrower and more winding thoroughfare called Fortick's Lane. In 1789 a company was incorporated by Royal Charter regarding the opening of a Grand Line of canal, from the north side of Dublin City to the upper part of the River Shannon 86 miles away in Co. Longford. The work started in 1790 and was completed by 1817 (Neary 1992). Clonliffe Bridge on Jones Road going over the Grand Canal was constructed in 1812 (M'Creedy 1987).

In 1859 Archbishop Cullen (1803–78) founded Holy Cross College, the Diocesan seminary in the grounds and buildings of the former Clonliffe House. It was opened to seminarians in 1863. In 1890, the Archbishop of Dublin, Dr Walsh moved from Parnell Square to a house within the grounds of Holy Cross College (Neary, 1992). The seminary closed in the late 1990's.

The industrial heritage links of the proposed site are further highlighted by its proximity to the Tivoli Centre (CH007), the former Dublin Whiskey Distillery, which lends its name to Distillery Road. The connection between the whiskey distilling industry and the placename Distillery Road is difficult to trace. Mulryan's *Whiskies of Ireland* (2002) tells of the fortunes of the whiskey industry in Ireland from the 1600s onwards. Between 1823 and 1900 there were six major players in the Irish Market. George Roe, one of these six, had several distilleries throughout Dublin. The smallest of his concerns was located on Jones' Road. Despite its size, this distillery still possessed its own 'cooperage, stables, blacksmiths, carpentry shop, print works (this is the same unit referred to on the 1912 edition Ordnance Survey map), malt house and duty-free warehouses (Mulryan 2002, 39). The Jones' Road distillery was powered wholly by water and produced 560,000 gallons of whiskey annually. In 1891 George Roe and William Jameson (brother of John Jameson – whose distillery is still in existence today) joined forces to form Dublin Whiskey Distillers (DWD). This merger in the face of economic difficulties was short lived with both firms closing between 1923 and 1926. Operations at Jones' Road continued occasionally until 1942 (Mulryan 2002, 59). Mulryan's information regarding the location of the Dublin Whiskey Distillers premises may not be exhaustive. It is possible that the distillery on Jones' Road was perhaps only in part located there and that there were units of the operation spread around the locality including on

the River Tolka at Distillery Road (right bank) and off Richmond Road (left bank), where the location of a distillery is depicted on Ordnance Survey maps dating from 1912 and 1935-36.

The site of the headquarters of the Gaelic Athletic Association (GAA) at Croke park was formally owned by a Mr. M. Butterly in the 1870's (www.gaa.ie). At that time, it was known as the City and Suburban racecourse. The location of this amenity and the subsequent facilities are on the south side of Clonliffe Road, with Jones' Road on its western end and St. Joseph's Avenue to the east. The junctions of Distillery Road and St. Josephs off Clonliffe Road are directly opposite each other. Frank Dineen purchased the 14-acre site in 1908 and sold it to the GAA in 1913. The association immediately renamed the ground Croke Park in honour of its first (1884) patron Archbishop Croke of Cashel and Emly.

3.5 *Cartographic evidence*

3.5.1 *Down Survey Map (1656)*

The approximate location of the site can be seen but no details are identifiable (Figure 6).

The civil survey of 1654 mentions a watermill at St Mary Abbey Lands at the Grange of Clonliffe. It is marked on the Down survey maps as 'Grange Mill', 'Corn Mill' on the 1st edition O.S. maps, and 'Printing Works' on the 2nd edition maps (Figures 8 and 9).

3.5.2 *Rocque's Map of Dublin c.1760*

The proposed development site appears to straddle an island, possibly caused by siltation, with the River Tolka briefly diverging into two channels. Further south a possible mill race or leat can be seen traversing through Fortick's Grove before re-joining the Tolka further downstream. The surrounding landscape appears to be largely agricultural (Figure 7).

3.5.3 *1st Edition Ordnance Survey 6-inch series (1837-42)*

A structure 'Optic Lodge' and its associated outbuildings can be seen at the northern part of the site. The lands to the rear of Optic Lodge have been formally laid out and possibly accessed from a lane way to the rear of the lodge. A smaller structure can be identified centrally within this area. A weir has been established on the southwestern extent of the site most likely channelling water into the most southerly channel of the Tolka which is annotated as a Mill Pond. A sluice gate is annotated on the northern most channel of the Tolka indicating that it played a role in the control of water to the mill. Elsewhere to the south of the proposed development the cornmill and its associated millrace are clearly identifiable. Richmond House (CH004) and the site of Richmond Castle (CH001) are depicted to the east of the proposed development (Figure 8).

3.5.4 *Ordnance Survey 25-inch series map (1910-11)*

The proposed development site has undergone some change at this point. A foot bridge over a possible tail race is depicted to the rear of the structures at the northernmost part of the site. The weir and sluice gates are more readily identifiable and a large distillery complex off Richmond road has been developed. A second weir and sluice gate associated with the mill to the south of the site is visible now labelled as a colour printing works and a large, bonded store house can be seen to the west of Distillery Road. The dwelling (CH003) is labelled Red House and (CH004) Richmond House has been incorporated into the St Vincent's Lunatic Asylum further north (Figure 9).

3.5.5 *Ordnance Survey Casini 6-inch series (1936)*

No significant changes from the earlier 25-inch series map (Figure 10).

Recent excavations

A number of archaeological investigations have been carried out within the environs of the proposed site. No features of archaeological significance were identified during these investigations (see Appendix 2).

4 IMPACT STATEMENT

4.1 Description of the site

The proposed development site is located on the northern bank of the Tolka to the southwest of Richmond Road, Dublin 3 (Figure 1). It is bounded to the north-east by Richmond Road and the Leyden's Wholesalers & Distributor Site, to the north-west by an apartment development (Deakin Court), to the south-west by the Tolka River and to the south-east by a residential and commercial development (Distillery Lofts). Improvement works to Richmond Road are also proposed including carriageway widening and a new signal controlled pedestrian crossing facility on an area of c. 0.08 hectares (c. 762 sq m). The development site area and road works area will provide a total application site area of c. 0.69 hectares (c. 6,829 sq m).

4.1.1 Past impacts on site

The site was infilled in the 1960s or 1970s and currently contains numerous warehouse buildings, 2 No. red brick dwellings, a car park and an internal access road from Richmond Road. It is likely that the construction of the extant properties may have previously impacted on any sub-surface archaeological remains. In addition, a flood relief scheme was implemented along the River Tolka in 2004 and it is likely that the construction of a flood barrier wall along the north-western bank of the river as part of that scheme impacted on a number of the sub-surface features associated with milling activity in the area.

4.1.2 Summary of baseline environment

Site Type	Summary
<ul style="list-style-type: none"> - RMPs - National Monuments - Sites with Preservation Orders - Sites listed in the Register of Historic Monuments 	<p>There are three recorded archaeological monuments incorporated by the study area.</p> <p>There are no National Monuments or sites with Preservation Orders within the study area.</p>
<ul style="list-style-type: none"> - Protected Structures 	<p>There are seven Protected Structures incorporated in the study area.</p>
<ul style="list-style-type: none"> - Architectural Conservation Areas (ACAs) and Conservation Areas (CAs) 	<p>The proposed development site does not lie within an ACA, but the River Tolka is designated as a CA</p>
<ul style="list-style-type: none"> - Sites Listed in the NIAH 	<p>There are nine structures listed in the NIAH within the study area.</p>
<ul style="list-style-type: none"> - Townland Boundaries 	<p>There are two townland boundaries located within the study area.</p>
<ul style="list-style-type: none"> - Unregistered Cultural Heritage Sites 	<p>There are 11 unregistered cultural heritage sites incorporated by the study area, eight of these are within the proposed development area.</p>
<ul style="list-style-type: none"> - Areas/features of archaeological potential 	<p>The development site as a whole is also regarded as an area of high archaeological potential.</p>

Table 6 – Summary of baseline environment

4.2 Description of the proposed development

The proposed development will principally consist of the demolition of all existing structures on site (c. 2,346 sq m) including warehouses and 2 No. dwellings; and the construction of a part 6 No. to part 10 No. storey over basement development (with roof level telecommunications infrastructure over), comprising 1 No. café/retail unit (157 sq m) at ground floor level and 183 No. Build-to-Rent apartments (104 No. one bedroom units and 79 No. two bedroom units). The proposed development has a gross floor area of c. 16,366 sq m over a basement of c. 2,729 sq m. The proposed development has a gross floor space of c. 15,689 sq m.

The development also includes the construction of a new c. 126 No. metre long section of flood wall to the River Tolka along the site's southern boundary. The new flood wall is positioned at the top of the existing riverbank and will connect to existing constructed sections of flood wall upstream and downstream of the site. The top of the wall will be set at the required flood defence level resulting in typical wall heights of c. 1.2 to 2 metres above existing ground levels. The development will also include the repair and maintenance of the existing river wall on site adjacent to the River Tolka.

The development also provides ancillary residential amenities and facilities; 71 No. car parking spaces including 8 No. electric vehicle spaces, 4 No. mobility impaired spaces and 1 No. car share space; 5 No. motorcycle parking spaces; bicycle parking; electric scooter storage; a drop off space; the decommissioning of the existing telecommunications mast at ground level and provision of new telecommunications infrastructure at roof level including shrouds, antennas and microwave link dishes; balconies facing all directions; public and communal open space; a pedestrian/bicycle connection along the north-western boundary of the site from Richmond Road to the proposed pedestrian/bicycle route to the south-west of the site adjoining the River Tolka; roof gardens; hard and soft landscaping; boundary treatments; green roofs; ESB Substation; switchroom; comms rooms; generator; lift overruns; stores; plant; and all associated works above and below ground.

4.3 Impact assessment

This section assesses the likely significant impacts that the proposed development will have on the baseline/receiving environment, prior to the implementation of any mitigation measures. The methodology used in ascertaining the baseline value of sites, the type, magnitude and significance level of impacts is set out in Section 2 above.

Mitigation measures to ameliorate these impacts and the residual impact that the proposed scheme will have on each site of cultural heritage significance and/or potential are provided in Sections 5 and 6 below.

The construction of the new building will require the demolition of all existing structures on site. The development plan includes a partial footprint basement that will occupy approximately 45% of the site footprint. The basement will be constructed via secant pile wall. Levelling of the site for piling and the insertion of pile guide walls along the circuit of the proposed secant pile wall will require ground reduction that could result in the exposure and removal of archaeological material.

Piling itself will be carried out prior to the main phase of ground reduction to formation level, therefore it is likely that the piles will penetrate through in situ archaeological features or deposits.

Present ground level across the proposed site area varies from c 4.98 m OD to c. 5.16 m OD. The required ground reduction associated with the basement is likely to be c. 5 m below present ground level and will require the removal of any surviving archaeological remains in this area.

Ground reduction across the remainder of the site is expected to be less allowing up to c. 1 m below present ground level to accommodate the new ground slab, with localised deeper excavation for ground-beams and services. Although the risk of encountering archaeological remains during these works is reduced, the likelihood of encountering significant material cannot be entirely dismissed.

In addition, the construction of the new flood wall and the repair and maintenance of the existing river wall on site adjacent to the River Tolka will require site clearance and limited ground reduction works associated with the insertion of sheet pile walling and associated capping beam. As such, these works may encounter surviving in-situ archaeological remains associated with 19th-century milling activity and the original course of the River Tolka, as depicted on historical sources.

All impacts that occur during the construction phase are likely to be direct impacts as a result of sub-surface disturbance or construction works.

CH No.	Impact Type	Description of Impact	Magnitude of impact prior to implementation of mitigation measures	Baseline Value	Significance level of impact prior to implementation of mitigation measures
019-026	Direct	Impacts will occur as a result of construction groundworks	Major	Medium/Low	Slight
028	Direct	Impacts will occur as a result of construction groundworks	Major	Medium/Low	Slight

Table 7 – Summary of impacts and impact magnitude prior to mitigation

5 MITIGATION STRATEGY

The mitigation strategies outlined in this section detail the techniques to be adopted in order to ameliorate the impacts that the proposed development may have on features of archaeological, architectural and/or cultural heritage within the study area. The residual impacts that will remain once these mitigation measures have been implemented are identified in Section 6 further on.

The following mitigation measures proposed are subject to approval by Dublin City Council, the National Monuments Service, Department of Housing, Local Government and Heritage.

The current policy of the Minister for Housing, Local Government and Heritage is that preservation *in situ* of archaeological material is the preferred option. **Note:** where this cannot be achieved then a programme of full archaeological excavation should be implemented to ensure the preservation by record of all affected archaeological material.

In keeping with DCCs Archaeology Section Report recommendations (Ref: Addendum B; ABP 310653 21) the following mitigation measures are proposed:

1. The site shall be subject to a programme of pre-construction archaeological test trenching, under licence, by a suitably qualified archaeologist in order to identify the nature, extent and location of any sub-surface archaeological material. Note where possible enabling or other groundworks works should be deferred until after the archaeological test trenching programme has been completed. Any enabling or demolition works that must be carried out prior to completion of the testing programme shall be the subject of a programme of licensed archaeological monitoring by a suitably qualified archaeologist.
2. A report on the results of the test trenching programme shall be submitted to Dublin City Council, the Heritage and Planning Division, Department of Housing, Local Government and Heritage (DHLGH) and the National Museum of Ireland prior to the commencement of the main construction programme. This report will include:
 - a. the archaeological and historical background of the site to include industrial heritage.
 - b. an appropriate paper record of any historic buildings and boundary treatments.
 - c. an updated impact statement of the proposed development on any surviving archaeological material and describe any appropriate further mitigation measures required in the event that the trenching programme confirms the presence of archaeological features or deposits.
3. Any such further mitigation measures required must be agreed in advance with the City Archaeologist (Dublin City Council) and the National Monuments Service (DHLGH).

6 CONCLUSIONS

6.1 *Summary of archaeological findings*

The archaeological assessment of the proposed development site at Richmond Road, Dublin has identified 28 sites of archaeological, and/or cultural heritage significance within the study area. These comprise three RMPs (one of which is also a designated NIAH site), seven Protected Structures (PS) (five of which are also listed on the NIAH), nine NIAH sites (including one RMP and five Protected Structures), one Conservation Area (CA), two townland boundaries (TB), eleven unregistered cultural heritage sites (UCH) and one area of archaeological potential (AAP).

The results of this impact assessment indicate that the development site as a whole is an area of archaeological potential. It is expected that any impacts to archaeology would occur as a result of construction groundworks.

6.2 *Recommendations*

The proposed development the demolition of all existing structures on the subject site (2,346 sq. m) and the construction of a part 6 No. to part 10 No. storey over basement mixed-use development. The development also includes the construction of a new c. 126 No. metre long section of flood wall to the River Tolka along the site's southern boundary. It is expected that most impacts would occur as a result of construction groundworks.

In keeping with DCCs Archaeology Section Report recommendations (Ref: Addendum B; ABP 310653 21) the following mitigation measures are proposed:

1. The site shall be subject to a programme of pre-construction archaeological test trenching, under licence, by a suitably qualified archaeologist in order to identify the nature, extent and location of any sub-surface archaeological material. Note where possible enabling or other groundworks works should be deferred until after the archaeological test trenching programme has been completed. Any enabling or demolition works that must be carried out prior to completion of the testing programme shall be the subject of a programme of licensed archaeological monitoring by a suitably qualified archaeologist.
2. A report on the results of the test trenching programme shall be submitted to Dublin City Council, the Heritage and Planning Division, Department of Housing, Local Government and Heritage (DHLGH) and the National Museum of Ireland prior to the commencement of the main construction programme. This report will include:
 - a. the archaeological and historical background of the site to include industrial heritage.
 - b. an appropriate paper record of any historic buildings and boundary treatments.
 - c. an updated impact statement of the proposed development on any surviving archaeological material and describe any appropriate further mitigation measures required in the event that the trenching programme confirms the presence of archaeological features or deposits.
3. Any such further mitigation measures required must be agreed in advance with the City Archaeologist (Dublin City Council) and the National Monuments Service (DHLGH).

Note: Where preservation in situ of any identified archaeological remains cannot be achieved, either in whole or in part, then a programme of full archaeological excavation will be required, to ensure the preservation by record of any archaeological features that will be directly impacted upon.

6.3 Residual impacts

CH No.	Baseline Value	Impact Type	Mitigation Measures	Magnitude of impact taking into account mitigation measures	Significance level of impact after implementation of mitigation measures
019–026	Medium/Low	Direct	Archaeological test trenching in advance of development	Minor	Negligible
028	Medium/Low	Direct	Archaeological test trenching in advance of development	Minor	Negligible

Table 8 – Summary of impacts and impact magnitude after implementation of mitigation

Please note all the recommendations in this report are subject to approval of Dublin City Council and the National Monuments Service, Department of Housing, Local Government and Heritage.

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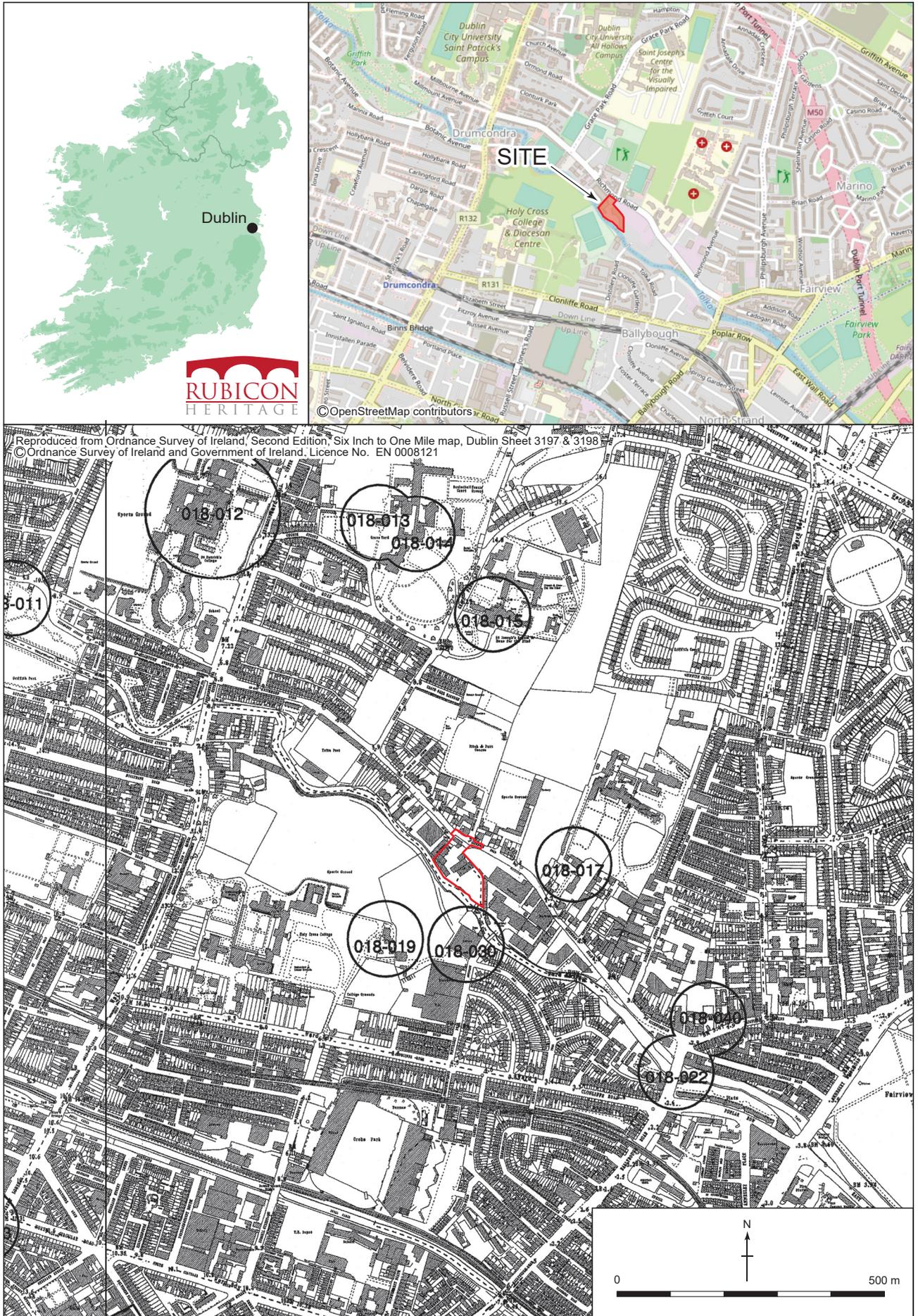


Figure 1 - Richmond Road, Dublin: Site location and RMP mapping.

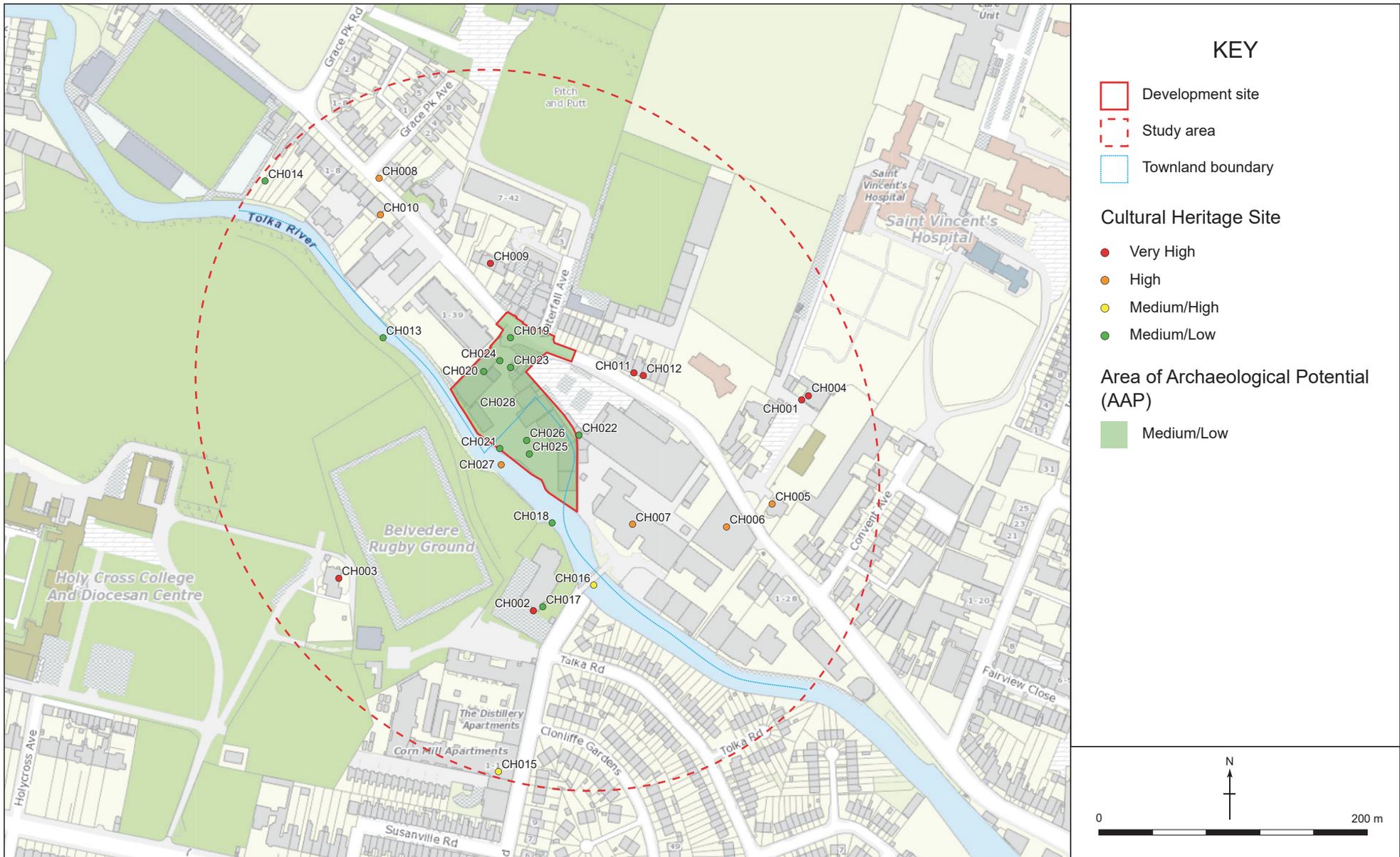
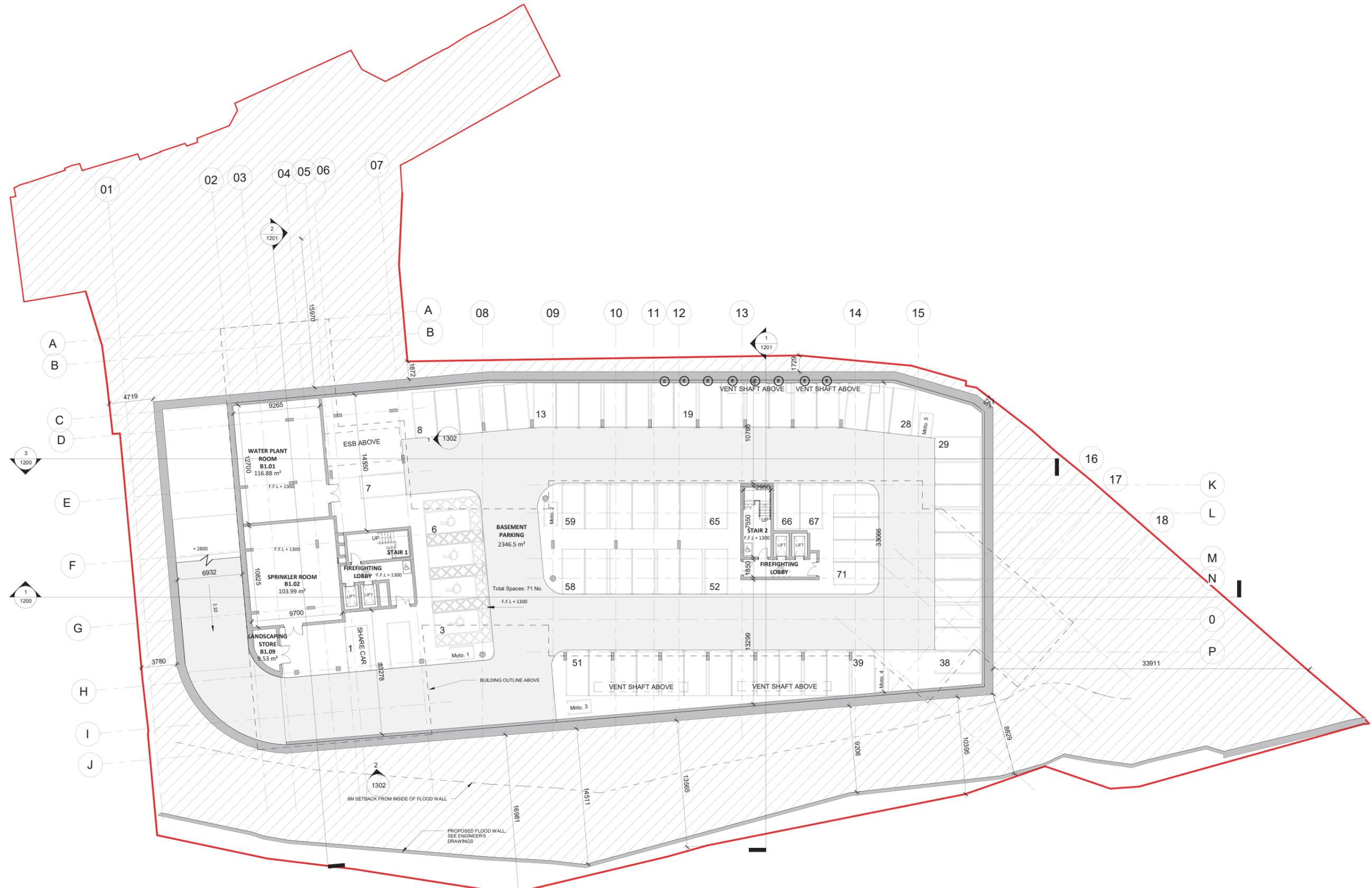


Figure 2 - Cultural Heritage sites within 200m radius of proposed development site.



USE	
	SITE OUTLINED IN RED
	RESIDENTIAL ENTRANCE + RESIDENTIAL AMENITY
	AMENITY
	CAFÉ / RETAIL
	BACK OF HOUSE
	UNEXCAVATED
	GROUND
	1 BED APARTMENT
	2 BED APARTMENT
	BUILDING ABOVE
	ROAD WORKS IN APPLICATION AREA



1 1099_Basement Floor Plan - GA
1 : 200
@A1

REV.	DATE	DESCRIPTION
P2	09/12/2021	Issued for Planning Submission
P1	17/06/2021	Issued for Pre-Application Submission

BIRKEY LTD	
STATUS	PLANNING
PROJECT	RICHMOND ROAD
PROJECT ADDRESS	No. 146A and Nos. 148-148A Richmond Road, Dublin 3
DWG TITLE	BASEMENT FLOOR PLAN - GENERAL ARRANGEMENT
DWG NO.	20199-RKD-ZZ-B1-DR-A-1099
REV.	P2
STATUS	PROJECT NO. 20199
SCALE	1 : 200
DATE	DEC 2021
DRN	AMG
CHK	HB



Figure 3 - Proposed Basement layout.

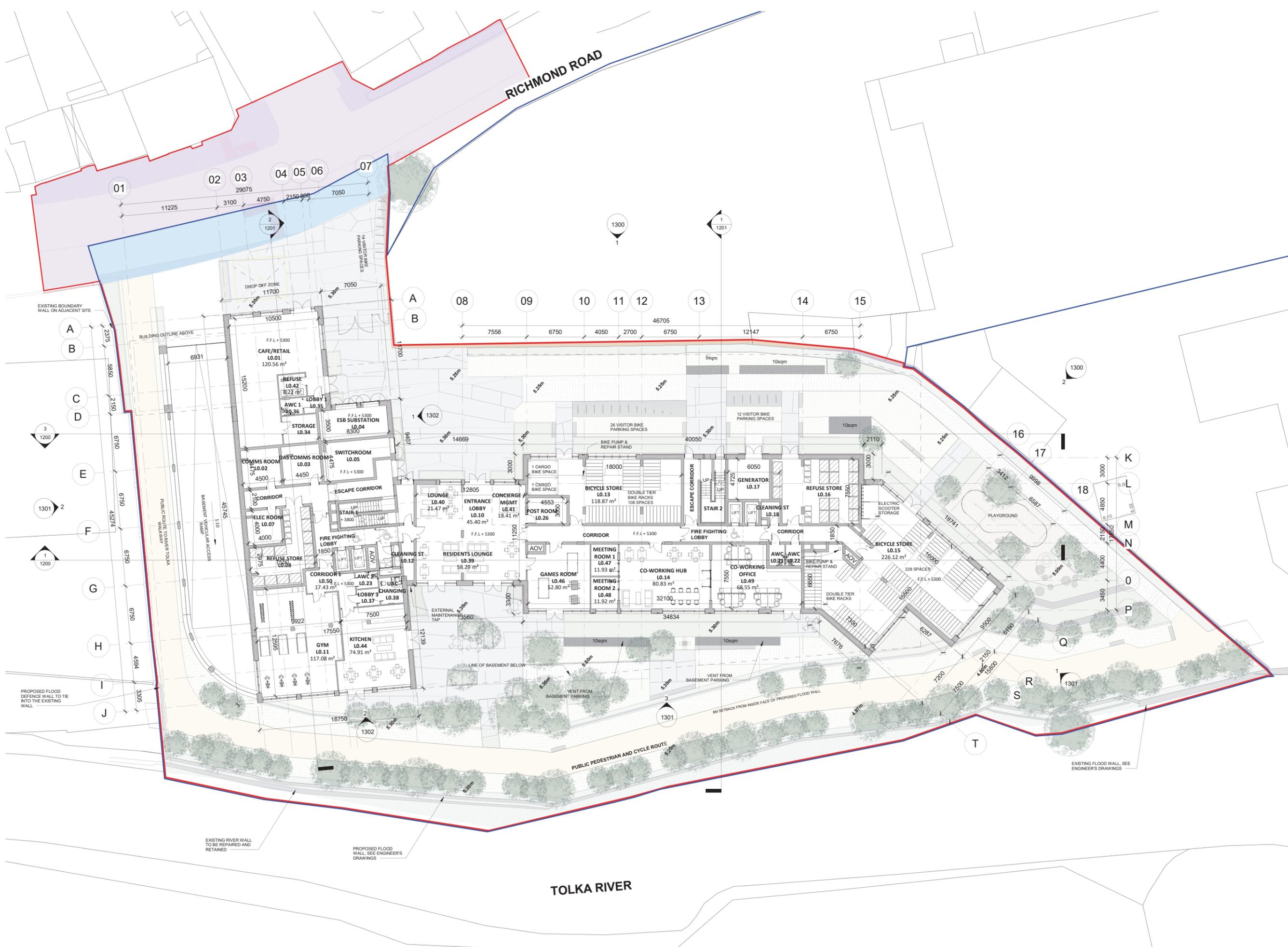
All dimensions to be checked on site. Figured dimensions take preference over scaled dimensions. Any errors or discrepancies to be reported to the Architects. This drawing may not be edited or modified by the recipient.

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USE	
	SITE OUTLINED IN RED
	RESIDENTIAL ENTRANCE + RESIDENTIAL AMENITY
	AMENITY
	CAFÉ / RETAIL
	BACK OF HOUSE
	UNEXCAVATED
	GROUND
	1 BED APARTMENT
	2 BED APARTMENT
	BUILDING ABOVE OUTLINE
	ROAD WORKS IN APPLICATION AREA



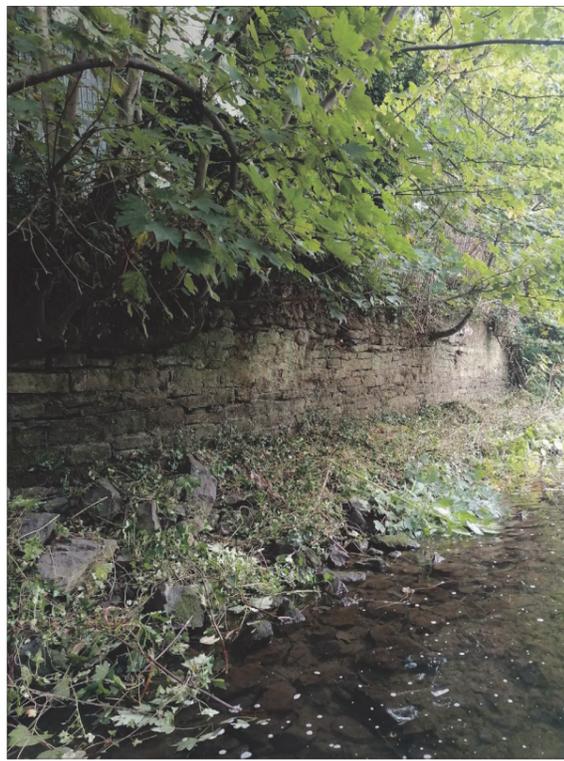
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P2	09/12/2021	Issued for Planning Submission
P1	17/06/2021	Issued for Pre-Application Submission

BIRKEY LTD	
STATUS PLANNING	
PROJECT RICHMOND ROAD	
PROJECT ADDRESS No. 146A and Nos. 148-148A Richmond Road, Dublin 3	
DWG TITLE GROUND FLOOR PLAN - GENERAL ARRANGEMENT	
DWG NO. 20199-RKD-ZZ-00-DR-A-1100	
REV. P2	STATUS PROJECT NO. 20199
DATE DEC 2021	SCALE 1 : 200
DRN AMG	CHK HB

1100_Ground Floor Plan - GA
1 : 200

Figure 4 - Proposed Ground Floor layout.





EXISTING RIVER WALL



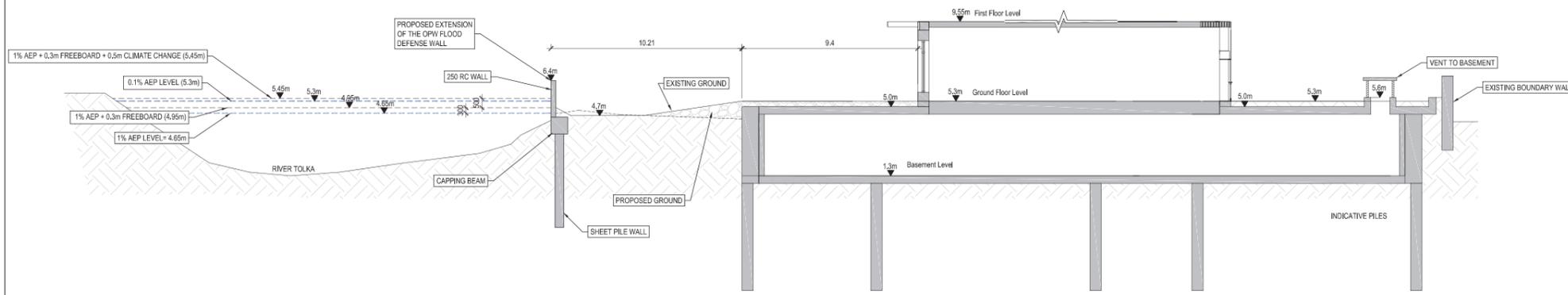
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SCALE 1:1000

ON ORIGINAL
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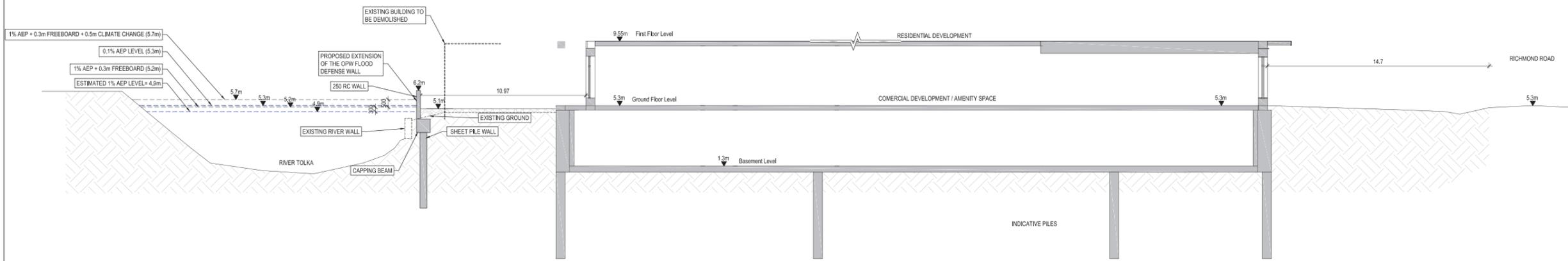
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NOTES:
GENERAL NOTES:
1. ALL DIMENSIONS AND LEVELS IN METRES AND ARE RELATED TO ORDINANCE DATUM. CO-ORDINATES RELATE TO ITM.
2. ALL FLOOD LEVELS ON THE DRAWING DERIVED FROM DCC SPRAW FLOOD MANAGEMENT SECTION.
3. TOLKA RIVER SECTION IS SHOWN INDICATIVELY.
4. BUILDING SECTIONS PRESENTED ARE BASED ON ARCHITECTURAL LAYOUT AVAILABLE AT THE TIME THAT SECTIONS WERE PREPARED.



SECTION A-A
SCALE 1:150



SECTION B-B
SCALE 1:150 @ A1

ORDNANCE SURVEY IRELAND LICENCE
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PI02	20-12-21	SND STAGE 3 PLANNING	RMC	CS
PI01	25-11-21	FOR DCC REVIEW	RMC	CS
rev	date	description	by	chkd.
client approval	A - Approved B - Approved with comments C - Do not use			

suitability: S2 - INFORMATION issue purpose: PLANNING

DBFL DBFL Consulting Engineers
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project ref:
RICHMOND ROAD,
DUBLIN 3

drawing title:
PROPOSED FLOOD WALL CROSS
SECTIONS

client:
BIRKEY LIMITED

designed by	author	scale	sheet size
CS	RMC	AS SHOWN	A1
drawing no.	revision		
210027-DBFL-CS-SP-DR-C-5006	P02		

Figure 5 - Details of proposed alteration to flood wall.

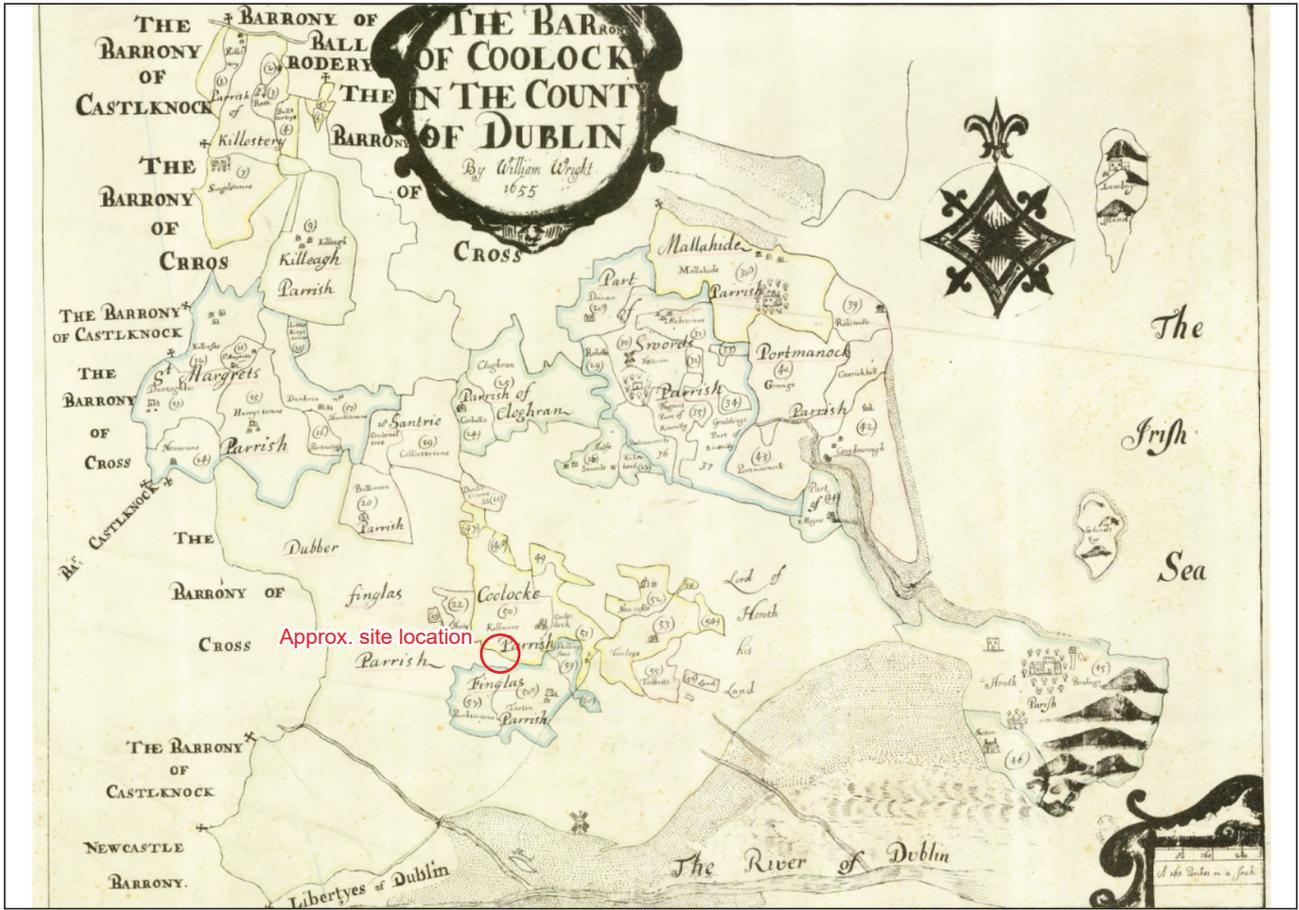


Figure 6 - Extract from Down Survey Map.



Figure 7 - Extract from Rocque's Map of County Dublin.

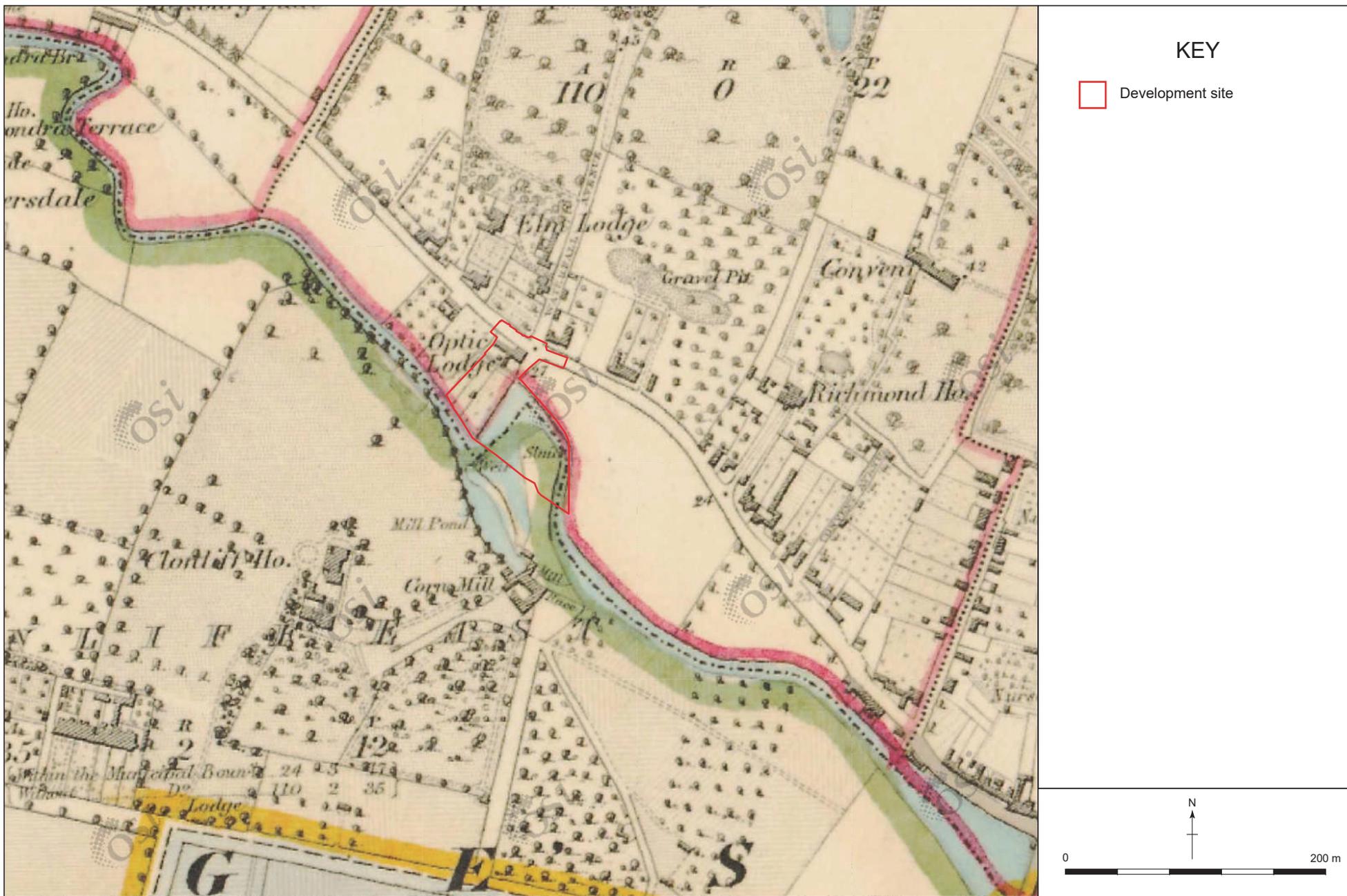


Figure 8 - First edition 6-inch Ordnance Survey map with proposed development site.



Figure 9 - Second edition 25-inch Ordnance Survey map with proposed development site.

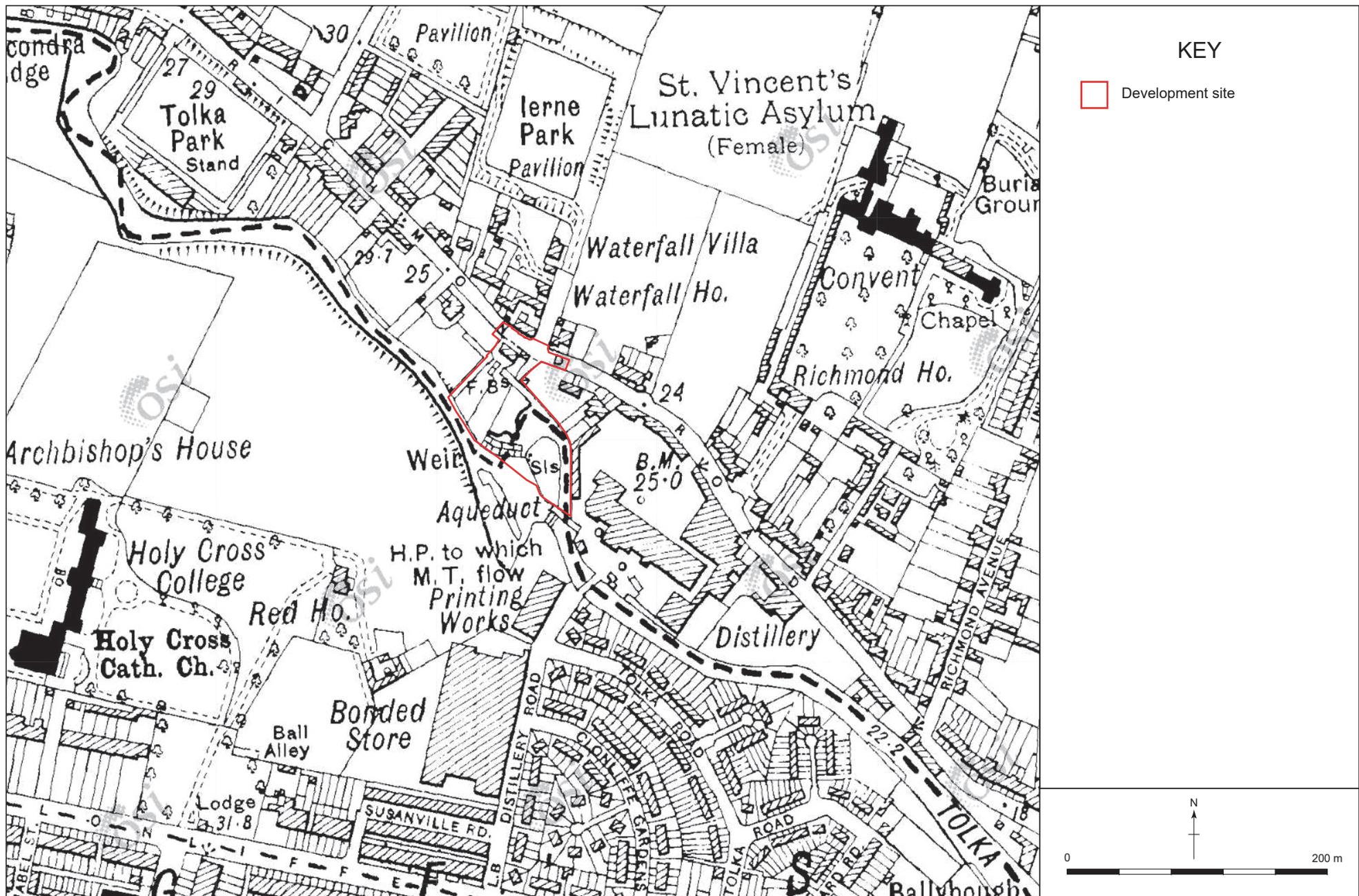


Figure 10 - 6-inch Cassini map with proposed development site.



Plate 1 - CH009 from development site, facing N



Plate 2 - Development site, facing SE



Plate 3 - Development site, facing NW



Plate 4 - CH006, facing S



Plate 5 - St Vincent's House CH001 and CH004, facing N



Plate 6 - CH003 and CH015, facing W



Plate 7 - CH007 and CH016, facing NE



Plate 8 - CH008 and CH010, facing S

Appendix 1 – Inventory of identified sites of cultural heritage significance and/or potential within study area

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
CH001	RMP	DU018-017----	Castle unclassified -	Duncan's map (1821) has 'castle' marked here. Taylors map of the Environs of Dublin (1816) has 'castle of Richmond' marked on the site. Today there is a two-storey, 5 bay house on the site. There are no surface remains of the castle.	Dublin North City	Very High	716795	736467
CH002	RMP	DU018-030----	Water mill unclassified -	The Archaeological Survey of Ireland (ASI) is in the process of providing information on all monuments on The Historic Environment Viewer (HEV). Currently the information for this record has not been uploaded.	Dublin North City	Very High	716595	736311
CH003	RMP NIAH	DU018-019001-50120177	House 17th/18th century (Clonliffe House) -	Located on the grounds of Clonliffe College in a prominent position above the River Tolka. It is brick built and rises to two storeys over basement. The entrance is W facing. Indicated as the Red House on the latest OS edition, but as Clonliff House on the first OS map. Dillon, Cosgrave (1909, 80) mentions the Red House. The date of construction is uncertain but the form of the staircase with barley-sugar balusters, low risers, broad handrail, paired with staircase panelling would appear to be 17th century. Detached three-bay two-storey double-pile former house over raised basement, built c.	Dublin North City	Very High	716450	736335

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				1760, having single-bay bow to side (north) elevation and low flanking wing walls to north and south ends of front (west) elevation. Now in use as clerical offices and counselling centre. Hipped M-profile slate roof with clay ridge tiles, rendered gable-sided chimneystacks, and red brick parapet with granite copings. Red brick walling to front, laid in Flemish bond, over smooth rendered basement walling, roughcast rendered walls to side and rear elevations and recent steel fire escapes to rear. Square-headed window openings with granite sills and raised render reveals, having timber sliding sash windows, first floor having three-over-three pane, ground floor having six-over-six pane and basement having three-over-three pane and replacement timber, with wrought-iron bars; round-headed window opening to bow with render reveal, render sill and fixed timber window; rear elevation has three-over-three pane to first floor and six-over-six pane to lower floors; some timber panelled shutters visible to interior. Elliptical-headed doorway to front, with moulded render surround, masonry doorcase comprising Ionic columns and entablature, two-stage spoked fanlight, and carved timber				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>panelled door, approached by flight of ten diminishing granite steps flanked by decorative splayed wrought-iron railings. Roughcast rendered wing walls with round-headed niches. Set in landscaped grounds to east of Clonliffe College.</p> <p>This Palladian-influenced house displays features characteristic of refined domestic architecture of the Georgian period. The classical doorcase acts as a focal point at the centre, emphasized by the diminishing stone steps. The decreasing scale of the somewhat curious fenestration lends a sense of height to the structure, while the wing walls enhance the perception of symmetry and draw the eye out into the landscape. It provides an appealing focal point near the eastern boundary of Holy Cross College. The former demesne within which the college is now situated was called Fortick's Grove. The first owner, Tristram Fortick, was an active philanthropist, and his name is enshrined in alms-houses at Little Denmark Street. It is likely that this house served as a dower house for the estate.</p>				
CH004	NIAH PS	50120046 2032	St. Vincent's Hospital	Detached five-bay two-storey two-pile former house over basement, built c. 1800, having	Dublin North City	Very High	716800	736470

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				shallow central entrance breakfront to front (south) elevation, and single-storey lean-to projection to west gable. Now in use as hospital offices and consultation space. M-profile pitched slate roof with black clay ridge tiles, render copings, rendered parapet with moulded render cornice, rendered chimneystacks with octagonal pots to gable ends of front pile, and cast-iron rainwater goods. Rendered walling with channelled render quoins, eaves course and plinth course to front, and roughcast render to side elevations. Square-headed window openings with granite sills, front elevation having three-over-three pane timber sliding sash windows to ground floor and six-over-six pane to first floor, and three-over-three pane to basement and elsewhere. Round-headed doorway, partly obscured by later flat-roofed porch, with moulded render surround, timber panelled door and spoked fanlight, flanked by square-headed sidelights, having fluted Doric columns and smooth rendered walls to porch supporting moulded cornice, and approached by two granite steps. Recent mild-steel railings to basement area, and wrought-iron railings, set on coursed limestone rubble plinth wall				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>with rounded render coping, to boundary to east. Situated in grounds of Saint Vincent's Hospital.</p> <p>The classical proportions of this former house are characteristic of residential design in the late Georgian era, with a central breakfront creating a pleasingly balanced facade. The building retains a strong sense of its original character, through the preservation of salient details. It provides an appealing focal point near the south entrance to St. Vincent's Hospital, being set at the end of a straight driveway that enhances the building's presence. Richmond Road was laid out in the eighteenth century to provide access to Drumcondra Castle. John Rocque's map of 1760 shows the road running west from Ballybough Bridge and turning north at Goosegreen Lane (Grace Park Road). The routeway allowed for the development of several small villas, beyond the developing city, sited to take advantage of the views of sea and mountains; this house was part of that early development and is characteristic of villas of the period, set in its own grounds. The building is associated with the Grose family, one of whose members, Francis, was a noted</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				antiquary. Later the building was used as a hospital by the Daughters of Charity.				
CH005	NIAH	50120047	Woodbine Lodge, Richmond Road	Detached former house over basement, comprising two blocks, western being two-storey over basement and built c. 1820 and eastern being slightly higher and three-storey and built c. 1850. Presents two bays each to road (south), being bowed to west block, three bays to west, mainly blank to east and four bays to north (east block having two-storey canted-bay at east end and porch at west). Possibly originally faced east. Now in use as part of Saint Vincent's Hospital complex. Hipped slate roofs, half-hipped to north end of west block, with terracotta ridge tiles, brick parapet having brick courses to west block with cut granite coping, detailed red brick chimneystacks to ridge-line of west block, and with cast-iron rainwater goods. Red brick walling, laid in Flemish bond, to south elevation of west block, ruled-and-lined render elsewhere, painted except for east elevation. West block has square-headed window openings with six-over-six pane timber sliding sash windows, having wrought-iron balconettes to ground floor of north elevation, and one round-headed barred	Dublin North City	High	716773	736390

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>opening to middle bay of first floor of west elevation; east block has square-headed openings to canted-bay with render sills and reveals and single and double one-over-one pane timber sliding sash windows, with decorative cast-iron balconette to first floor; camber-arch window openings elsewhere with granite sills and two-over-two pane timber sliding sash windows. Square-headed doorway with timber panelled door and plain overhead set within open-fronted glazed gabled timber porch with cusped round-headed lights, pointed finial to apex, panelled risers, and tiled threshold flanked by benches. Cast and wrought-iron fire escape stairs to southwest. Red and brown brick boundary wall having pointed render capping.</p> <p>This multi-period former house, with its eye-catching red brick elevation, is a particularly notable feature on Richmond Road. The unusual arrangement, with the street elevation forming the rear of the property, is intriguing. The elegant proportions allow the main phases of its construction, Georgian and Victorian, to exist in harmony. The building retains varied timber sash windows and rainwater goods and a late nineteenth-century</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				porch, giving the building historic integrity, and attests to the skills employed in historic craftsmanship. Richmond Road was laid out in the late eighteenth century to provide access to Drumcondra Castle. A number of villas comprised the focus of early development in the area. As the 1800s progressed, smaller middle-class suburban houses, of which this is a probable example, were added. Industrial developments in the later nineteenth century led to a building boom and it is likely that the large extension to this building was added in this phase of economic development and prosperity.				
CH006	NIAH PS	50120053 7359	Building misc 156- 163 Richmond Road	Detached nine-bay two-storey triple-pile warehouse, built c. 1875, having six-bay southeast and multiple-bay northwest side elevations. Hipped triple-pile roof with cut granite eaves course and mixed cast-iron and replacement uPVC rainwater goods. Coursed squared calp limestone rubble walls with block-and-start limestone quoins. Signage to front (east) elevation. Square-headed window openings with yellow brick voussoirs, red brick or raised render reveals, cut granite sills, and having multiple-pane metal windows, replacement timber windows, and mesh	Dublin North City	High	716739	736373

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>security screens; some openings blocked up; oculus to north elevation with brick surround. Square and segmental-arch doorways to front elevation with yellow brick surrounds and double-leaf timber battened doors, some with sidelights, having cut granite sills and multiple-pane metal windows. Flat hood to easternmost doorway, on render brackets. Flight of recent concrete steps and steel railings to east. Sited northeast of former Jones's Road Whiskey Distillery.</p> <p>This former warehouse evokes a strong sense of its industrial past, through the preservation of its original walling fabric and openings. The textural contrast between the limestone walls and brick surrounds to the openings is pleasant. Built in association with the nearby distillery complex, it forms an important group that dominates the south side of historic Richmond Road, along the River Tolka, and representing the industrial importance of the area in the late nineteenth century.</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				Brick and stone building east of Tivoli centre and stone warehouse fronting onto Richmond Road. Brick and stone building east of Tivoli centre and stone warehouse fronting onto Richmond Road.				
CH007	NIAH PS	50120052 2292	Tivoli Centre (Now Distillery Lofts)	Detached former whiskey distillery, built 1872-3 but possibly multi-period. Principal elevation faces northeast. Now in use as apartments and offices. Comprises nine-bay three-storey middle block, having square-plan three-bay four-storey block at rear with rounded west corner, and flanking blocks to northwest and southeast ends; northwest block (former granary) is six storeys high and seven bays deep, with three-bay southwest (rear) elevation; southeast block (still house) is only slightly deeper than middle block and has five-bay front elevation, having ground floor with very high upper floor and having lower multiple-bay block running along rear wall; recent glazed infill to re-entrant corner of middle and northwest blocks; multiple-bay four-storey former north block (former granary) to northeast elevation of northwest block and having recent timber stairwell	Dublin North City	High	716669	736375

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>addition; scar of lower block to southeast side of southeast block. Recent flat roofs throughout, with recessed further flat-roofed storey throughout, some cast-iron rainwater goods; paired terracotta brackets supporting panelled copper tanks to parapets to southern blocks. Red brick walling, laid in English garden wall bond, with rusticated granite quoins and cast-iron tie-plates, and recent smooth rendered walls with rusticated granite quoins to four-storey block. Blocked segmental-headed waterwheel gearshaft openings to south elevation, one with cut granite sill and one with cast-iron surround. Round-headed double and triple-height window openings to front of southeast and middle blocks, to southeast elevation of block at rear of middle block, and to southeast elevation of block attached to rear of southeast block. Square-headed window openings to north block and to ground floor front of middle and southeast blocks, camber-arch elsewhere, with some granite and some render sills, and replacement timber windows throughout, some with recent red brick voussoirs, some with raised render reveals. Round-headed openings have rusticated</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>granite surrounds, some with yellow brick risers. Row of oculi under eaves of front elevation of southeast block. Square-headed doorways with recent glazed timber and sliding timber battened doors. Three-bay single-storey roofless outbuilding to east with squared limestone walling, and square-headed or camber-arch window openings with cut granite sills and brick reveals, and camber-arch doorway with brick voussoirs and cut limestone reveal, all now blocked. Set on banks of Tolka River, with large single-storey warehouse at northeast, along Richmond Road.</p> <p>This former distillery complex dominates its environs, lending its name to the nearby Distillery Road and towering over the buildings on Richmond Road. The complex plan form is highlighted by the granite quoins that break the regularity of the brick walls. The water tanks to the roof illustrate the fire safety measures employed when the distillery functioned and add a sense of context while testifying to the engineering skill used in the overall design. The openings for a gearshaft at the south pinpoint the probable location of the</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>original waterwheel. Water-power sites were preferred in the majority of Irish whiskey distilleries, although the presence of a chimney, indicated on the OS maps, shows that this building also used some steam power, probably to run the turbines when the water level in the River Tolka was low. The bonded warehouses located further south, and the warehouse to the north, are undoubtedly associated with the complex, as whiskey distilling was dependent on large warehouse complexes to allow for maturation. The site has been suggested as one of the hiding places used by Éamon de Valera after his escape from Lincoln Jail in 1918.</p> <p>Exterior Description: Distillery complex built c.1875 for the Dublin Whiskey Distillery comprising attached three, four and six-storey blocks having rounded corner wall to four-storey block to the south; now with modern additions to facilitate use as apartment complex and office accommodation. Former water tanks supported on granite corbels at roof level of four and six-storey blocks;</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>modern roof covering to remainder. Brown brick walls laid in English garden wall bond with rock-faced granite quoins to four and six-storey blocks; rendered walls to four-storey block to north. Variety of openings comprising square-headed window openings having red brick relieving arches; segmental-headed window openings with granite sills and brick arches; round-headed window openings with rock-faced granite dressings and block-and-start surrounds; semi-circular window and oculus openings with brick dressings. Three round-headed door openings in a tripartite arrangement to the south elevation having rock-faced granite block-and-start surrounds with pronounced key stones.</p> <p>Appraisal of Condition: Substantial remains Appraisal: This is a fine example of a large multi-storey former distillery complex with a pleasing brick edifice punctured by a variety of window openings. The sighting of the complex, on the banks of the River Tolka is likely to have facilitated a plentiful supply of water used in the distilling process. Founded by the Dublin Whiskey Distillery in 1875 the complex operated for 25 years before joining</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				Geo. Roe & Co., Distillers in 1889 to form a trading unit called the Dublin Distilling Company, LTD. Despite the loss of some original fabric the complex has been sympathetically redeveloped and is a landmark within the area.				
CH008	NIAH	50120037	Post box	<p>Freestanding cast-iron pillar post-box, erected c. 1985. Round plan, with shallow moulded cap, moulded neck and plinth base. Raised 'An Post' insignia to front (west) face. Maker's mark to rear. Set at northeast corner of Grace Park Avenue, at junction with Richmond Road.</p> <p>This attractive piece of street furniture is an example of the continuing presence of this mass-produced cast-iron model in the latter decades of the twentieth century. The insignia, representing the national postal service (renamed 'An Post' in 1984), provides subtle decorative as well as contextual interest. It was cast, like all post-boxes supplied to An Post in this period, by the Dublin foundry of Tonge & Taggart Ltd. The simplicity of its form, with restrained lettering and gentle curves, is typical of the iconic pillar box design.</p>	Richmond	High	716480	736631

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
CH009	NIAH PS	50120038 7356	House	<p>Mid-terrace five-bay single-storey house over raised basement, built c. 1825, with shallow central breakfront to front (south) elevation, and having return. Hipped slate roof having shared rendered chimneystack with clay pots to east party wall. Pebble dashed walling to front, bearing name plate 'Elm Lodge'; smooth rendered elsewhere. Square-headed window openings with cut granite sills, moulded render architraves, and replacement aluminium frames. Round-headed doorway with carved stone Gibbsian doorcase, timber panelled door and spoked fanlight; cut granite platform and flight of ten steps flanked by cast-iron railings with decorative posts on cut granite copings. Random rubble wall to front boundary, with recent steel gate.</p> <p>The oblique positioning of this house to the road, along with the dense foliage to the front garden, almost conceals it from the street. The house displays a facade of stepped plan, adding incident to the streetscape. Early fabric remains in the Gibbsian doorcase and fanlight, the style of which were popular from the mid-eighteenth to the early nineteenth centuries. Front garden boundaries remain intact, contributing to the historic character of</p>	Richmond	Very High	716563	736568

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				Richmond Road, which was laid out in the eighteenth century to provide access to Drumcondra Castle.				
CH010	NIAH	50120042	House	Attached three-bay single-storey former house over raised basement, built c. 1870, of two-storeys with return to rear (south) elevation. Now in use as apartments. M-profile pitched slate roof, partly hidden behind parapet with moulded render cornice; rendered chimneystacks to end walls with clay pots. Yellow brick walling, laid in Flemish bond to ground floor of front elevation, with granite plinth course over rendered basement walling; pebble dashed walling to east elevation; rendered elsewhere. Square-headed window openings with cut granite sills, rendered reveals and replacement uPVC windows. Elliptical-headed doorway with moulded render reveal and timber doorcase comprising panelled pilasters, replacement console brackets and stepped cornice, early timber panelled door and spoked fanlight, approached by flight of nine nosed cut granite steps with decorative cast-iron boot scrape to platform, flanked by cast-iron railings with wrought-iron handrail having decorative panels with fleur-de-lis finials; granite	Richmond	High	716481	736604

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				platform to foot of steps. Brick-paved forecourt on site of front garden. 'Tolka Lodge', as it is called on the third edition Ordnance Survey map, is unique in style on this road. It retains its early form and character, enhanced by the well-proportioned openings and salient features such as the early doorcase and fanlight. The survival of cast-iron details attests to the artisanship in mass-produced ironwork of the later nineteenth century, and contributes to the historic character of the road. The level of the road was built above the flood plain of the Tolka River, facilitating later development to either side to provide living space for an expanding city.				
CH011	PS	7357	163 Richmond Road	Two-storey Georgian-style house	Richmond	Very High	716670	736487
CH012	PS	7358	165 Richmond Road	Two-storey Georgian-style house	Richmond	Very High	716677	736485
CH013	TB	-	Townland boundary	Townland boundary between Richmond and Clonliffe East	Richmond/ Clonliffe East	Medium / Low	716483	736513
CH014	TB	-	Townland boundary	Townland boundary between Clonliffe East and Drumcondra	Clonliffe East/ Drumcondra	Medium / Low	716395	736629
CH015	NIAH PS	50120201 2291	Bonded Store (Corn Mill Apartments)	Exterior Description: Fourteen-bay single-storey elevation of bonded store, built c.1880 fronting onto Distillery Street with Italianate two-stage entrance tower to the south; twelve-	Clonliffe East	Medium / High	716569	736192

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
				<p>bay single-storey extension of the façade to the north added c.1900 with terminating Italianate two-stage tower; now incorporated within modern residential and office development c.2006. Pyramidal roof to towers with overhanging eaves and bracketed eaves course. Rendered façade with base plinth, pilasters and projecting cornice. Square-headed window openings to ground floor with tripartite round-headed openings to towers. Square-headed pedestrian door openings with large square-headed goods openings having timber and metal double-leaf sliding doors.</p> <p>Appraisal: Despite the loss of much original fabric this section of façade, now incorporated within a modern development represents the part survival of the former bonded stores. The façade is of simple classical design with terminating towers of Italianate appearance adding interest to the composition. The extension of the façade to the north c.1900 in a replica style adds a further chapter to the development of the site with the continuous cornice and second terminating tower adding a unifying element to the structure.</p>				

CH No.	Category	ID	Summary	Description	Townland	Baseline Value	ITM E	ITM N
CH016	UCH (2)	-	Bridge	Original replaced c.2006.	Richmond/ Clonliffe East	Medium / High	716640	736330
CH017	UCH (2)	-	Mill race	OSI 1847 (1: 1056): Mill race	Clonliffe East	Medium / Low	716602	736314
CH018	UCH (2)	-	Sluice	OSI 1910 (1:2500) Sluice	Richmond	Medium / Low	716609	736376
CH019	UCH (2)	-	Dwelling	OSI 1847 (1:1056) Structure 'Optic Lodge'	Richmond	Medium / Low	716585	736522
CH020	UCH (2)	-	Structure	OSI 1847 (1:1056) Structure to rear of 'Optic Lodge'	Richmond	Medium / Low	716558	736488
CH021	UCH (2)	-	Weir	OSI 1847 (1:1056) Weir	Clonliffe East	Medium / Low	716570	736431
CH022	UCH (2)	-	Sluice	OSI 1847 (1:1056) Sluice	Clonliffe East	Medium / Low	716629	736441
CH023	UCH (2)	-	Tailrace	OSI 1910 (1:2500) Tailrace	Richmond	Medium /Low	716578	736491
CH024	UCH (2)	-	Footbridge	OSI 1910 (1:2500) Footbridge	Richmond	Medium / Low	716570	736496
CH025	UCH (2)	-	Sluice	OSI 1910 (1:2500) Sluice	Richmond	Medium / Low	716592	736427
CH026	UCH (2)	-	River Channel	The original course of the River Tolka	Clonliffe East	Medium / Low	716590	736437
CH027	CA	-	Conservation Area	The River Tolka	Clonliffe East	High	716571	736419
CH028	AAP	-	Area of Archaeological Potential	The development site as a whole is also regarded as an area of high archaeological potential.	Clonliffe East	Medium / Low	716584	736642

Note: The abbreviations that have been used for the 'Category' section are as follows:

RMP:	Recorded archaeological monument
NM/PO	National Monument in the ownership or guardianship of state or subject to a preservation order or temporary preservation order
PS:	Protected Structure
NIAH:	Site recorded in NIAH
ACA:	Architectural Conservation Area
CA:	Conservation Area
UBH:	Unregistered built heritage site
UCH (1):	Unregistered cultural heritage site that comprises extant remains
UCH (2):	Unregistered cultural heritage site that does not comprise extant remains
TB:	Townland boundary
AAP:	Area/feature of archaeological potential

Appendix 2 Previous archaeological investigations

An examination of previous excavations carried out within and around the area proposed for development provides a useful framework for assessment of the study area in terms of its archaeological significance as well as its archaeological potential. The Archaeological Excavations Bulletin is an annual fieldwork gazetteer for Irish Archaeology; it was checked for a record of any licensed archaeological investigations carried out in the vicinity of the development area between 1970 and 2017.

County: Dublin **Site name:** EIRCOM SITE, DISTILLERY ROAD, DUBLIN

Sites and Monuments Record No.: N/A **Licence number:** 05E0891

Author: Franc Myles, Margaret Gowen & Co. Ltd, 27 Merrion Square, Dublin 2.

Site type: No archaeological significance

ITM: E 716589m, N 736207m

Ground reduction of this site, which is near SMR 18:30, a watermill site, was undertaken over the autumn and winter of 2005 under archaeological supervision. It was found that the mass concrete foundations of 20th-century structures had cut through the upper level of the subsoil, truncating anything that may have survived the construction of the 19th-century distillery buildings.

County: Dublin **Site name:** Distillery Road, Dublin

Sites and Monuments Record No.: N/A **Licence number:** 03E1067

Author: Sinead Phelan, Margaret Gowen & Co. Ltd, 2 Killiney View, Albert Road Lower, Glenageary, Co. Dublin.

Site type: Urban

ITM: E 716589m, N 736207m

An assessment took place at the Jordan's Finishing Site, Distillery Road, Dublin 3. The zone of archaeological potential of SMR 18:30, a watermill, is c. 10m north-west of the proposed development area. The Jordan's Finishing Site is a protected structure; the front facade dates to the 1940s and extends beyond the property to the neighbouring Eircom site.

The assessment did not indicate that any archaeological material survived at the site pre-dating the 19th century. A 19th-century mixed silty clay layer directly overlay the undisturbed natural levels.

County: Dublin **Site name:** 145 Richmond Road, Dublin

Sites and Monuments Record No.: N/A **Licence number:** 07E0512

Author: Alan Hayden, Archaeological Projects Ltd, 27 Coulson Avenue, Rathgar, Dublin 6.

Site type: No archaeological significance

ITM: E 716626m, N 736136m

Three trenches excavated on the site showed it has been inundated by the river until the 18th or 19th century, and nothing of archaeological interest survived.

County: Dublin **Site name:** 2 Waterfall Avenue, Drumcondra

Sites and Monuments Record No.: - **Licence number:** 06E0729

Author: Claire Walsh, 27 Coulson Avenue, Dublin 6.

Site type: No archaeological significance.

ITM: E 715826m, N 736326m

This site was in the vicinity of DU018-017, a possible castle site. Nothing of archaeological significance was found.

County: Dublin **Site name:** RIVER TOLKA, DRUMCONDRA BRIDGE TO LUKE KELLY BRIDGE, DUBLIN

Sites and Monuments Record No.: N/A **Licence number:** 04D020, 04D021

Author: Rex Bangerter, The Archaeological Diving Company Ltd, Castlecomer, Co. Kilkenny.

Site type: Riverine survey

ITM: E 716980m, N 736067m

Assessment of the riverbed/associated bank structures and recording took place at four sites along the River Tolka: river walling (Site 1), wall stub associated with Clonliffe Paper Mills (Site 2), quay wall, weir and distillery buildings (Site 3), distillery mill access bridge (Site 4). All sites were recorded by written and photographic record, supplemented with total station recording and photo-mosaic elevations where appropriate. The assessment was undertaken on 18 May 2004 as part of the archaeological assessments made prior to the River Tolka Flood Alleviation Scheme.

Appendix 3 Legislative and Policy framework

EIA Legislation

EIA Directive 85/337/EEC as amended by 97/11/EC, 2003/35/EC and 2009/31/EC requires that certain developments be assessed for likely environmental effects before planning permission can be granted. This original directive and its amendments were consolidated informally in EIA Directive 2011/92/EU and further amended 2014/52/EU.

Directive 2014/52/EU that among other factors, information is to be provided on:

‘cultural heritage, including architectural and archaeological aspects’ (Annex IV, Section 3)

Each of these assets is addressed within this assessment report.

Cultural Heritage Legislation

Archaeological Monuments/Sites

Archaeological heritage is protected primarily under the National Monuments Acts 1930-2004. Section 2 of the 1930 National Monuments Act defines the word ‘monument’ as including:

‘any artificial or partly artificial building, structure, or erection whether above or below the surface of the ground and whether affixed or not affixed to the ground and any cave, stone, or other natural product whether forming part of or attached to or not attached to the ground which has been artificially carved, sculptured or worked upon or which (where it does not form part of the ground) appears to have been purposely put or arranged in position and any prehistoric or ancient tomb, grave or burial deposit, but does not include any building which is for the time being habitually used for ecclesiastical purposes’.

Under the 1994 Act, provision was made for a Record of Monuments & Places (RMP). The RMP is a revised set of SMR (Sites and Monuments Record) maps, on which newly-discovered sites have been added and locations which proved not to be of antiquity have been de-listed by the National Monuments Service.

In effect, the National Monuments Acts 1930-2004 provide a statutory basis for:

- Protection of sites and monuments (RMPs)
- Sites with Preservation Orders
- Ownership and Guardianship of National Monuments
- Register of Historic Monuments (pre-dating 1700AD)
- Licensing of archaeological excavations
- Licensing of Detection Devices
- Protection of archaeological objects
- Protection of wrecks and underwater heritage (more than 100 years old)

In relation to proposed works at or in the vicinity of a recorded archaeological monument, Section 12 (3) of the National Monuments (Amendment) Act 1994 states:

‘When the owner or occupier (not being the Commissioners) of a monument or place which has been recorded [in the Record of Monuments and Places] or any person proposes to carry out, or to cause or

permit the carrying out of any work at or in relation to such monument or place, he shall give notice in writing of his proposal to carry out the work to the Commissioners and shall not, except in the case of urgent necessity and with the consent of the Commissioners, commence the work for a period of two months after having given the notice.'

Archaeological artefacts

Section 2 of the 1930 National Monuments Act (amended) defines an archaeological object as (in summary) any chattel in a manufactured or partly manufactured state or an unmanufactured state but with an archaeological or historical association. This includes ancient human, animal or plant remains.

Section 9 (1) of the National Monuments (Amendment) Act 1994 states that any such artefact recovered during archaeological investigations should be taken into possession by the licensed archaeological director and held on behalf of the state until such a time as they are deposited accordingly subsequent to consultation with the National Museum of Ireland.

Architectural Sites

In 1997 Ireland ratified the Granada Convention on architectural heritage. This provided the basis for a national commitment to the protection of the architectural heritage throughout the country. The Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act 1999 and Local Government (Planning and Development) Act 2000 made the legislative changes necessary to provide for a strengthening of the protection of architectural heritage. The former Act has helped to provide for a forum for the strengthening of architectural heritage protection as it called for the creation of a National Inventory of Architectural Heritage which is used by local authorities for compiling the Record of Protected Structures (RPS). The Record of Protected Structures (RPS) is set out in each respective county's Development Plan and provides statutory protection for these monuments.

Section 1 (1) of the Architectural Heritage (National Inventory) and Historic Monuments (Miscellaneous Provisions) Act, 1999 states:

'architectural heritage means all—

- (a) structures and buildings together with their settings and attendant grounds, fixtures and fittings,
- (b) groups of such structures and buildings, and
- (c) sites, which are of architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest"

The 1999 Act was replaced by the Local Government (Planning and Development) Act 2000 where the conditions relating to the protection of architectural heritage are set out in Part IV of the Act. Section 57 (1) of the 2000 Act states that:

'...the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of –

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest'

Policy Framework

Dublin City Development Plan 2016–2022

CHC1: To seek the preservation of the built heritage of the city that makes a positive contribution to the character, appearance and quality of local streetscapes and the sustainable development of the city.

CHC4: To protect the special interest and character of all Dublin’s Conservation Areas. Development within or affecting a conservation area must contribute positively to its character and distinctiveness, and take opportunities to protect and enhance the character and appearance of the area and its setting, wherever possible.

CHC9: To protect and preserve National Monuments.

1. To protect archaeological material in situ by ensuring that only minimal impact on archaeological layers is allowed, by way of the re-use of buildings, light buildings, foundation design or the omission of basements in the Zones of Archaeological Interest.
2. That where preservation in situ is not feasible, sites of archaeological interest shall be subject to ‘preservation by record’ according to best practice in advance of re-development.
3. That sites within Zones of Archaeological Interest will be subject to consultation with the City Archaeologist and archaeological assessment prior to a planning application being lodged.
4. That the National Monuments Service will be consulted in assessing proposals for development which relate to Monuments and Zones of Archaeological Interest.
5. To preserve known burial grounds and disused historic graveyards, where appropriate, to ensure that human remain are re-interred, except where otherwise agreed with the National Museum of Ireland.
6. That in evaluating proposals for development in the vicinity of the surviving sections of the city wall that due recognition be given to their national significance and their special character.
7. To have regard to the Shipwreck inventory maintained by the DAHG. Proposed developments that may have potential to impact on riverine, inter-tidal and sub-tidal environments shall be subject to an underwater archaeological assessment in advance of works.
8. To have regard to DAHG policy documents and guidelines relating to archaeology.

CHC10: To continue to preserve, and enhance the surviving sections of the City Wall and city defences, a National Monument, according to the recommendations of the City Walls Conservation Plan 2015, with reference to the National Policy on Town Defences, adopted by the Department of the Environment in 2008

CHC11: To preserve historic place and street names and ensure that new street names should reflect appropriate local historical or cultural associations.

CHC12: To promote tourism in the medieval city and suburbs.

CHC13: To support and pursue a World Heritage nomination for the Historic City of Dublin, in partnership with the Department of Arts, Heritage, Regional, Rural and Gaeltacht Affairs and other stakeholders.

CHC14: To promote the awareness of Dublin’s industrial, military and maritime, canalside (including lock-keepers’ dwellings) and rural (vernacular) heritage.

CHC15: To preserve, repair and retain in situ, historic elements of significance in the public realm including railings, milestones, city ward stones, street furniture, ironmongery, and any historic kerbing

and setts identified in Appendices 7 and 8 of the Development Plan, and promote high standards for design, materials and workmanship in public realm improvements. Works involving such elements shall be carried out in accordance with the Department of Arts Heritage and the Gaeltacht Advice Series: Paving, the Conservation of Historic Ground Surfaces.

CHC16: To undertake a feasibility study with a view to establishing a Museum of Dublin with a range of stakeholders including OPW, the National Cultural Institutions, Little Museum of Dublin, The Heritage Council and the City Council, in recognition of the wide range of cultural artefacts relating to the history and development of the city.

CHC17: To co-operate with and facilitate the state in its presentation of the National Monument at 14-17 Moore Street on a joint venture basis.

CHC18: To support and promote a strategy for the protection and restoration of the industrial heritage of the city's waterways, such as the River Dodder, including retaining walls, weirs and millraces.

CHC19: To seek a use for Aldborough House on Portland Row in Dublin 1 that would facilitate its restoration.

CHC20: To support the retention and refurbishment of the cultural quarter associated with 1916 on Moore Street.

CHC21: Dublin City Council recognises the exceptional archaeological, architectural and historical significance of the St. Sepulchre's Palace complex (Kevin Street Garda Station) and will work with all stakeholders and interested parties to develop a Conservation Plan to safeguard the future of St. Sepulchre's, identify appropriate future use(s) that reflects its historic and architectural importance and unlock the cultural tourism potential of the site in the context of the cathedral quarter and the historic city.

CHC22: To seek the preparation of a detailed Masterplan for the Mountjoy Prison site prior to any proposed redevelopment that fully assesses the buildings/structures of special architectural/ social/ historic interest".

Appendix 4 Terms and definitions used

The following sets out the definitions of the terms which are used throughout the report:

- (i) The phrase ‘cultural heritage’ is a generic term used in reference to a multitude of cultural, archaeological and architectural sites and monuments. The term ‘cultural heritage’, in compliance with Section 2(1) of the Heritage Act (1995), is used throughout this report in relation to archaeological objects, features, monuments and landscapes as well as all structures and buildings which are considered to be of historical, archaeological, artistic, engineering, scientific, social or technical interest.

For the purpose of this assessment, each identified cultural heritage site is assigned a unique cultural heritage number with the prefix ‘CH’.

- (ii) A feature recorded in the ‘Record of Monuments and Places’ (RMP) refers to a recorded archaeological site that is granted statutory protection under the National Monuments Act 1930-2004. When reference is made to the distance between an RMP and the proposed development site (see below), this relates to the minimal distance separating the site from the known edge of the RMP. Where the edge of the RMP is not precisely known, the distance relates to that which separates the site from the boundary of the RMP zone of archaeological potential as represented on the respective RMP map; where this is applied, it is stated accordingly.
- (iii) An ‘area of archaeological potential’ refers to an area of ground that is deemed to constitute one where archaeological sites, features or objects may be present in consequence of location, association with identified/recorded archaeological sites and/or identifiable characteristics.
- (iv) The term ‘proposed development site’ refers to the defined area of land within which the proposed development, including access tracks etc, may be constructed.
- (v) In relation to the term ‘study area’ please see Section 1.3 above.
- (vi) The term ‘receiving environment’ refers to the broader landscape within which the study area is situated. Examination of the site’s receiving environment allows the study area to be analysed in its wider cultural context.
- (vii) The terms ‘baseline environment’ and ‘cultural heritage resource’ refer to the existing, identifiable environment against which potential impacts of the proposed scheme may be measured.